



**MEETING AGENDA
SESSION OF THE PLANNING ADVISORY BOARD
CITY OF KISSIMMEE
CITY HALL, COMMISSION CHAMBERS
101 CHURCH STREET, KISSIMMEE, FLORIDA 34741-5054
WEDNESDAY, OCTOBER 4, 2023 AT 6:00 PM**

- 1. MEETING CALLED TO ORDER**
- 2. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE**
- 3. MINUTES**
 - 3.A Approval of the September 6, 2023 Planning Advisory Board (PAB) Meeting Minutes.
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
 - 5.A Public Hearing - Conditional Use with Site Specific Redevelopment Plan to develop townhomes - 1040 June St - CU-23-0005
- 6. PUBLIC HEARINGS**
- 7. DISCUSSION**
- 8. HEAR CHAIRMAN AND BOARD MEMBERS**
- 9. ADJOURNMENT**

In accordance with Florida Statutes 286.105: Any person wishing to appeal any decision made by the Planning Advisory Board with respect to any matter considered at such meeting or hearing will need to ensure that verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

In accordance with Florida State 286.26, persons needing assistance to participate in any of these proceedings should contact the Office of the City Clerk, 101 Church Street, Kissimmee, Florida, (407) 518-2309.

ITEM 3.A**Approval of the September 6, 2023 Planning Advisory Board (PAB) Meeting Minutes.****Request**

Approval of the September 6, 2023 Planning Advisory Board (PAB) Meeting Minutes.

Recommendation

REQUESTED PLANNING ADVISORY BOARD ACTION:

Approve

Attachment(s):

1. 09.06.2023 PAB Minutes



**MEETING MINUTES
SESSION OF THE PLANNING ADVISORY BOARD
CITY OF KISSIMMEE
CITY HALL, COMMISSION CHAMBERS
101 CHURCH STREET, KISSIMMEE, FLORIDA 34741-5054
WEDNESDAY, SEPTEMBER 6, 2023 AT 6:00 PM**

1. MEETING CALLED TO ORDER

Members Present: Chairman Robert Bussiere, Board Member Robert Spalding, Board Member Fatima Santiago, Vice-Chair Diana Marrero-Pinto, Board Member Melissa Thacker, Board Member Sylvette Santos, Board Member Alex Alemi

Staff Present: Planning Manager Brenda Ryan, Senior Planner Cristian Arias, Deputy City Attorney Kalanit Oded, Planning Technician Yolanda Hazley.

Members Absent: None

Robert Bussiere called the meeting to order at 6 p.m.

2. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE After a Moment of Silence, Chairman Bussiere led the audience in the Pledge of Allegiance.

3. MINUTES

- 3.A Approval of the July 19, 2023 Planning Advisory Board (PAB) Meeting Minutes.
Approval of the July 19, 2023 Planning Advisory Board (PAB) meeting minutes.
Board Member Robert Spalding made a motion to Approve. Board Member Melissa Thacker seconded the motion.

AYE: Chairman Robert Bussiere, Board Member Robert Spalding, Board Member Fatima Santiago, Vice-Chair Diana Marrero-Pinto, Board Member Melissa Thacker, Board Member Sylvette Santos, Board Member Alex Alemi
NAY: None

Motion to Approve with Conditions Passed 7 - 0.

4. OLD BUSINESS

- 4.A Public Hearing - Conditional Use with Site Specific Redevelopment Plan to develop a new commercial car wash - Big Dan's Car Wash - CU-23-0006

Planning Manager Ryan stated that this is a request for approval of a Conditional Use with Site Specific Redevelopment Plan for a new commercial car wash facility on approximately 1.28 acres of land within a Mixed Use Planned Unit Development (MUPUD) Zoning designation. The subject property is located at 51 and 53 W. Vine St.

Staff recommends approval for the following reasons:

1. Compliance with Chapter 171 of the Florida Statutes as it meets all the criteria for voluntary annexation as the subject property is contiguous to the City Limits along the north, east, and southern boundaries of the parcel. Adequate public facilities, including water, sewer, drainage, and emergency protection are already provided to surrounding properties. The subject property is reasonably compact and will not result in the creation of enclaves if annexed.

2. Compliance with Section 14-2-12 annexation regulations outlined in the Land Development Code.
3. Compliance with Land Development Code Section 14-3-27, Zoning Map and Land Development Code Amendments, in regards to the submittal and review procedures and criteria to support an amendment. Compliance with Land Development Code Section 14-4-4(A), Agriculture and Conservation District (AC) Zoning District, that is compatible with the Single-Family Low Density Residential (SF-LDR) Future Land Use designation that can be considered a holding zone which will permit appropriate rural development until such time new urban development is appropriate.

Staff recommends approval subject to the following 8 conditions amending conditions 1&2:

1. Car wash facility must incorporate Form Based Code (FBC) standards.
2. No washing or detailing can occur outside of the main car wash building.
3. Street wall with landscaping must be maintained throughout the entire extent of the drive through.
4. Noise levels at all property lines must comply with the City's Noise Ordinance.
5. A 9ft. streetscape zone easement on N. Main St. must be dedicated to the City. The easement must be accompanied by a sketch legal description and reviewed by the Florida Department of Transportation (FDOT) prior to receiving approval by City Commission. This easement must be approved by the City Commission prior to issuance of the Certificate of Occupancy (CO).
6. Applicant will continue to work with City staff regarding the existing obstructions (e.g., LYNX bus stop, trees, mast arm, electrical/utilities) within the Vine St. ROW along the frontage of the car wash.
7. Perpetual cross-access/drainage easements or a replat may be required with this development.
8. Fire Flow Requirements shall be provided per FFPC NFPA 1 18.3. This will determine if additional fire hydrants are needed.

Revised Conditions

1. **Car wash facility must meet Form Based Code (FBC) standards for: landscaping; building façade transparency and articulation, including windows and doors; and entry and exit roll-up doors material and transparency. All other applicable Land Development Code and PUD standards apply.**
2. **No washing or detailing can occur outside of the main car wash building. Self- service vacuuming may be conducted outside of the main car wash building in the areas designated for such purpose.**
3. **Street wall with landscaping must be maintained throughout the entire extent of the drive through.**
4. **Noise levels at all property lines must comply with the City's Noise Ordinance.**
5. **A 9ft. streetscape zone easement on N. Main St. must be dedicated to the**

City. The easement must be accompanied by a sketch legal description and reviewed by the Florida Department of Transportation (FDOT) prior to receiving approval by City Commission. This easement must be approved by the City Commission prior to issuance of the Certificate of Occupancy (CO).

- 6. Applicant will continue to work with City staff regarding the existing obstructions (e.g., LYNX bus stop, trees, mast arm, electrical/utilities) within the Vine St. ROW along the frontage of the car wash.**
- 7. Perpetual cross-access/drainage easements or a replat may be required with this development.**
- 8. Fire Flow Requirements shall be provided per FFPC NFPA 1 18.3. This will determine if additional fire hydrants are needed.**

Matt Britten, 3708 W. Swann Ave., Tampa, FL representing the applicant stated that they agree with Staff's recommendation and are available for any questions.

Board Member Melissa Thacker made a motion to approve with revised conditions . Board Member Robert Spalding seconded the motion.

AYE: Chairman Robert Bussiere, Board Member Robert Spalding, Board Member Fatima Santiago, Vice-Chair Diana Marrero-Pinto, Board Member Melissa Thacker, Board Member Sylvette Santos, Board Member Alex Alemi
NAY: None

Motion to Approve with Conditions Passed 7 - 0.

5. NEW BUSINESS

5.A Public Hearing - Ordinance to annex 556.33 acres of land - AX-22-0003 - Proposed Ordinance #23-19

AN ORDINANCE PROVIDING FOR THE ANNEXATION OF CERTAIN HEREIN DESCRIBED LAND, TO THE CITY OF KISSIMMEE, FLORIDA, FURTHER PROVIDING FOR THE TERMS AND CONDITIONS OF SUCH LAND AFTER ITS ANNEXATION, REPEALING ALL ORDINANCES IN CONFLICT HERewith AND PROVIDING AN EFFECTIVE DATE

Board Member Melissa Thacker stated that there would be a conflict of interest and would abstain from this request.

Senior Planner Cristian Arias stated that this is a request for an approval of an Annexation to annex approximately 556 acres of property into the City. The subject property is located east of Simpson Road and west of East Lake Tohopekaliga.

Senior Planner Cristian Arias stated that there was an error in the legal ad that was corrected prior to the meeting.

Staff recommends approval for the following reasons:

1. Compliance with Chapter 171 of the Florida Statutes as it meets all the criteria for voluntary annexation as the property is contiguous, or adjacent, to the City Limits along the northern and southern boundaries of the parcel. Public services, including water, sewer, drainage, and emergency services are already provided to these adjacent City parcels. The subject property is reasonably compact and will not result in the creation of an enclave if annexed.
2. Compliance with Section 14-3-25 annexation regulations outlined in the Land Development Code that refers to Chapter 171, Florida Statutes, and the general annexation procedures in the City's Comprehensive Plan utilizing either the City's land use conversion table in Future Land Use Policy 1.1.10.5, an Annexation Agreement, or a Future Land Use Map amendment. A concurrent Future Land Use Amendment (LUPA-23-0002) will be utilized to establish the Future Land Use designation on this property.

Senior Planner Arias read an email for the record sent by Lisa Gonzales 2332 Ventura Ct., Kissimmee, FL stated that will her property be annexed into the City.

Senior Planner Arias stated that the properties that will be annexed will not affect her property.

Eric Rodge, 4767 New Broad St. Orlando, FL 32814 stated that they agree with Staff's recommendation and provided a presentation to the Board.

Tony Samotas, 1730 Lee Jansen Dr., Kissimmee, FL stated that they had concerns regarding flooding.

Lisa Gonzales, 2372 Aurora Ct., Kissimmee, FL stated that she has concerns with flooding and would this project affect her property.

Thomas Vacek, 2620 Cahokia Ct., Kissimmee, FL expressed concerns with traffic.

Board Member Robert Spalding made a motion to Approved. Board Member Alex Alemi seconded the motion.

AYE: Chairman Robert Bussiere, Member Robert Spalding, Member Fatima Santiago, Vice-Chair Diana Marrero-Pinto, Member Melissa Thacker, Member Sylvette Santos, Member Alex Alemi
NAY: None

Motion Passed 7 - 0.

- 5.B Public Hearing - An Ordinance amending the Future Land Use Map designation from County Low Density Residential (LDR), City Multiple Family Medium Density (MF-MDR), and City Single Family Low Density (SF-LDR) to City Single Family Low Density (SF-LDR), Commercial General (CG), Multiple Family Medium Density (MF-MDR), and Conservation Area (CONS): Hilliard Isle, LUPA-22-0006 - Proposed Ordinance #23-20

AN ORDINANCE AMENDING ORDINANCE NO. 3050 KNOWN AS THE ORDINANCE ADOPTING THE COMPREHENSIVE DEVELOPMENT PLAN FOR THE CITY OF KISSIMMEE, FLORIDA, UNDER THE AUTHORITY OF FLORIDA STATUTE 163.3184; DIRECTING THE CITY MANAGER TO AMEND THE COMPREHENSIVE LAND USE

PLAN AS HEREIN PROVIDED AFTER THE PASSAGE OF THIS ORDINANCE;
PROVIDING FOR A PUBLIC HEARING AS REQUIRED BY LAW; REPEALING ALL
ORDINANCES IN CONFLICT HERewith; AND PROVIDING AN EFFECTIVE DATE.

Board Member Melissa Thacker stated that there would be a conflict of interest and would abstain from this request.

Senior Planner Cristian Arias stated that this is a request for a Future Land Use Map designation from County Low Density Residential (LDR), City Multiple Family Medium Density (MF- MDR), and City Single Family Low Density (SF-LDR) to City Single Family Low Density (SF-LDR), Commercial General (CG), Multiple Family Medium Density (MF- MDR), and Conservation Area (CONS) on approximately 883.27 acres of land.

Staff recommends approval for the following reasons:

1. Compliance with Policy 1.2.3.2, Commercial General (CG): Future Land Use Designation, that is intended to accommodate office uses, general retail sales, and service uses that are highly accessible and adjacent to major thoroughfares and transit facilities and possess necessary location, site, and market requirements. Development and redevelopment projects within this future land use designation may be built with an intensity of up to 2.5 FAR.
2. Compliance with Policy 1.2.1.2, Single Family Low Density Residential (SF-LDR) Land Use Designation as areas designated primarily for single family low density residential uses, which shall accommodate single family detached dwelling units with a maximum density of up to six-dwelling units per acre.
3. Compliance with Policy 1.2.1.3, Multi Family Medium Density Residential (MF- MDR) intended to accommodate multi-family structures with a density of 10-20 units per acre.
4. Compliance with Policy 1.2.8.2, Conservation (CONS), intended for lands that, because of their environmental quality and/or sensitivity, are intended for protection and are not intended for development activities, and therefore have no allocable FAR.
5. Compliance with Land Development Code Section 14-3-26, Comprehensive Plan Text and Map Amendments, in regards to the submittal and review procedures and criteria to support an amendment.

Staff recommends approval subject to the following 1 condition.

1. Subject to the approval of the Hilliard Isle Annexation (AX-22-0003).

Board Member Robert Spalding made a motion to Approve. Board Member Alex Alemi seconded the motion.

AYE: Chairman Robert Bussiere, Member Robert Spalding, Member Fatima Santiago, Vice-Chair Diana Marrero-Pinto, Member Melissa Thacker, Member Sylvette Santos, Member Alex Alemi

NAY: None

Motion to Approve with Condition Passed 7 - 0.

6. PUBLIC HEARINGS

7. DISCUSSION

8. HEAR CHAIRMAN AND BOARD MEMBERS

- 9. ADJOURNMENT** A motion to adjourn by Member Melissa Thacker and seconded by Member Robert Spalding.

There being no further business to come before the Planning Advisory Board, Chairman Robert Bussierre adjourned the meeting at 6:49 p.m.

Board Chairman

ATTEST:

Board Secretary

ITEM 5.A

Public Hearing - Conditional Use with Site Specific Redevelopment Plan to develop townhomes - 1040 June St - CU-23-0005

Request

Approval of a Conditional Use with Site Specific Redevelopment Plan for new townhomes located at 1040 June St. on approximately 0.25 acres of land within a Neighborhood Restricted (T4-R) Zoning designation.

Explanation

The applicant initially submitted a request for a quadruplex with 4 units. Any non-fee simple project that consists of more than 3 units is considered multi-family. After the initial May 16, 2023 Development Review Committee (DRC) meeting, the applicant changed the request to three (3) fee simple townhomes. The new townhome layout was conditionally approved at the August 1, 2023 DRC meeting.

The majority of the lots on this segment of June St. is currently vacant, including the subject property, but the new townhomes are compatible with the surrounding area that includes existing townhomes directly south, the development of new apartments recently approved to the west (June Street Apartments - CU-23-0004), approved at the July 19, 2023 PAB Meeting with 8 multi family units, and the Dillingham Apartments (CU-22-0010), approved at the January 4, 2023 PAB Meeting that will redevelop the existing structures at 511 N. Dillingham Ave. with 30 units within a 3 story building.

The supporting documents provide the proposed layouts of the townhomes. Note that the layout may be modified with the final construction plan and building permit reviews. Two (2) of the three (3) units have a 2-car garage (Units A & B) but all units include 2.5 bathrooms with all bedrooms located upstairs. All units exceed the City's minimum living area requirement of 1,000 sq. ft. for a 3 bedroom townhome (Unit C) and 1,100 sq. ft. for a townhome that includes more than 3 bedrooms (Units A & B).

FINDINGS AND REASONS:

1. Compliance with the intent of Section 14-5-1, Purpose of the Downtown and Vine Street Form-Based Code (FBC), to promote transient oriented design, encourage infill development, encourage and promote redevelopment on underdeveloped sites, foster a relationship between new development and existing and proposed transit stop locations and their proximity to SunRail, and implement the Downtown and Vine Street Community Redevelopment Areas (CRA) master development plans.
2. Compliance with Section 14-5-4C, Transect Zones Established, which is intended to exemplify a mix of residential types in a pedestrian-oriented urban form, is primarily within the City's historic and older residential neighborhoods and is within a short walk of a commercial area. Townhomes are permitted subject to Conditional Use approval by the Planning Advisory Board (PAB).
3. Compliance with Section 14-3-29(G)(1)-(13) general review criteria for Conditional Use approval as the subject property, layout, compatibility, and public facility impacts of the project are in compliance with the Land Development Code.
4. Compliance with Comprehensive Plan Future Land Use Element Policy 1.2.9.2, Mixed Use - Downtown (MU-D), which is an activity hub anchored by government centers, retail and business districts, and quiet residential streets with restored structures. The property is located in the Medical Campus sub-area which is centered around hospital and medical uses with

supportive residential housing for area employees. The Medical Campus sub-area is projected with a mix of uses that includes 5-25 residential, 75-95 percent non-residential, a maximum project density and intensity of 40 dwelling units per acre (du/ac) and 6.0 Floor Area Ratio (F.A.R.).

Recommendation

REQUESTED PLANNING ADVISORY BOARD ACTION:

Approve w/Conditions

The Development Review Committee (DRC) recommended approval on August 1, 2023.

CONDITIONS:

1. Provide responses to all DRC staff comments when construction plans are submitted.
2. A 14ft. streetscape zone must be provided on June St. The streetscape zone is measured from the back of curb on June St. and must include an 8ft. furnishing zone and a 6ft. sidewalk.
3. Driveways must be brick/paver blocks or decorative stamped concrete. Asphalt or concrete driveways shall be prohibited.
4. All architectural and design standard comments must be addressed with the construction plan submittal.
5. Design alterations may be required with the building permit application for the Study area located in Unit B in order to comply with the Florida Building Code.

Attachment(s):

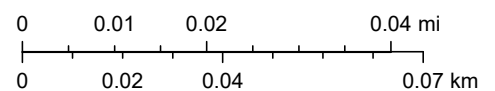
1. CU-23-0005 Vicinity Map
2. CU-23-0005 Aerial Map
3. CU-23-0005 Site Plan
4. CU-23-0005 PAB Ad
5. CU-23-0005 DRC Comments
6. CU-23-0005 DRC Application

CU-23-0005
1040 June Street
Conditional Use/Site Specific Redevelopment Plan

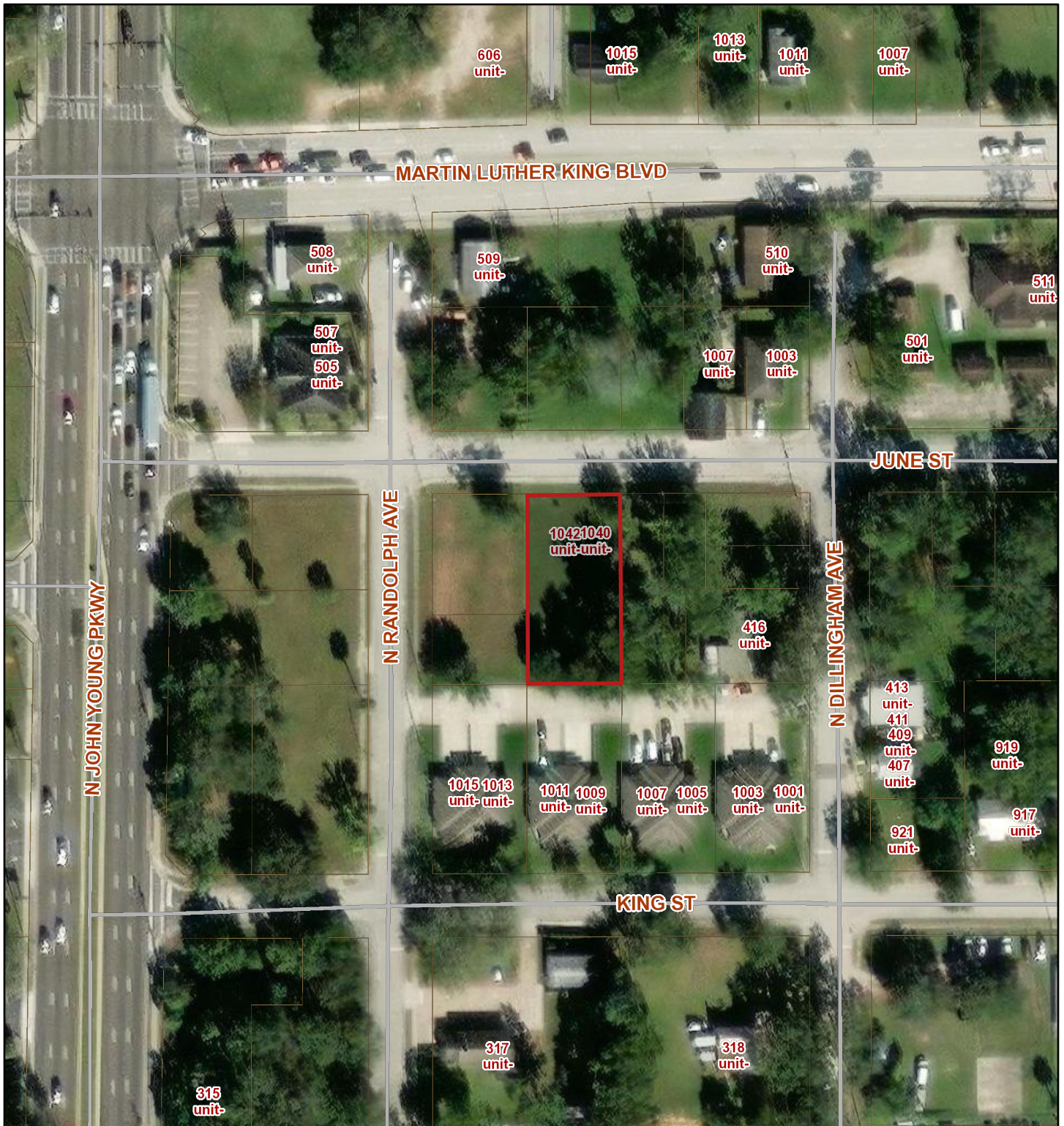


September 22, 2023

1:1,498



CU-23-0005
1040 June Street
Conditional Use/Site Specific Redevelopment Plan

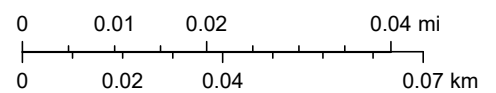


September 22, 2023

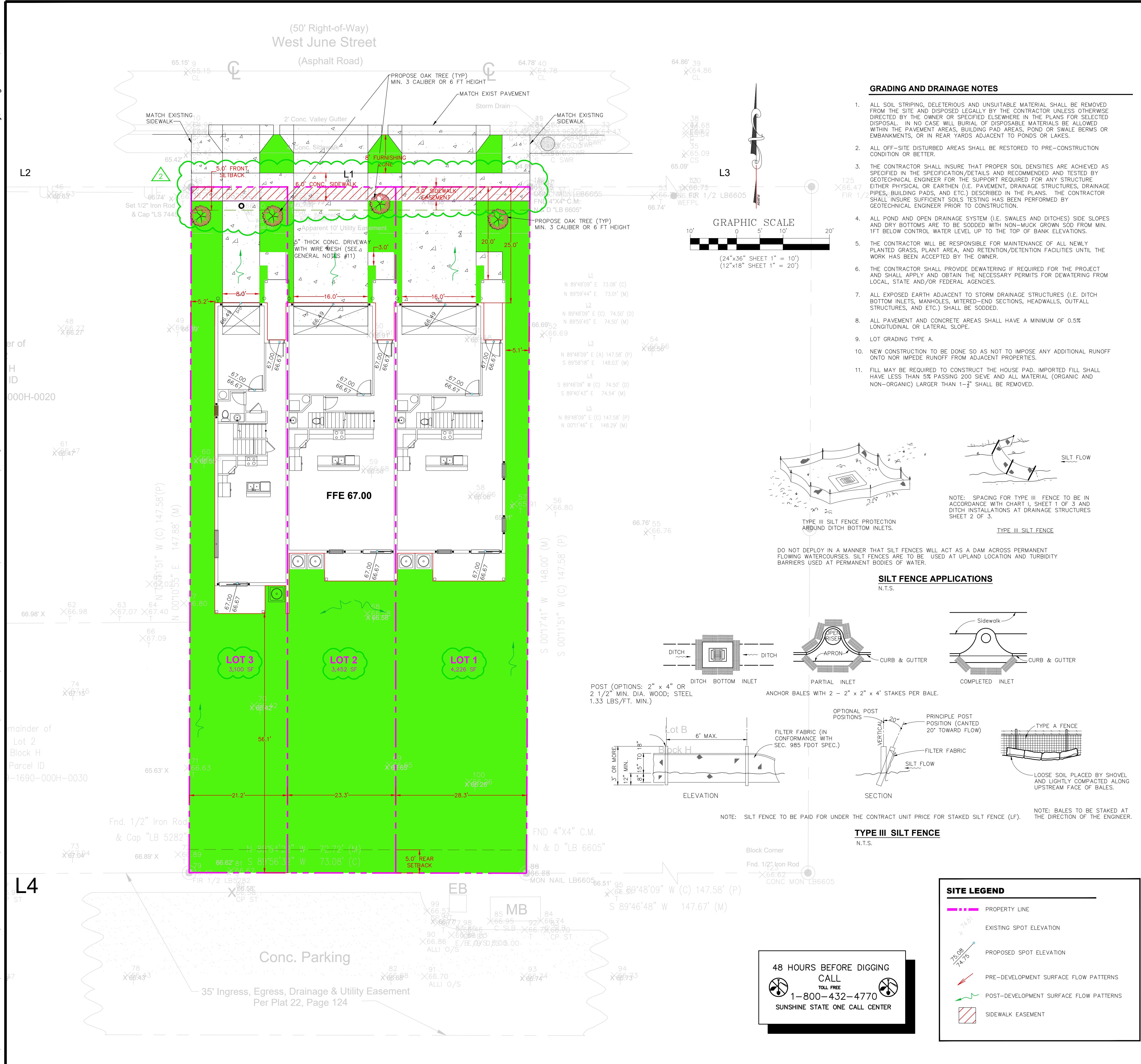
1:1,498

- Address Points
- Parcels
- Road Centerlines
- City Limits
- CITY
- COUNTY

- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 30cm Resolution Metadata

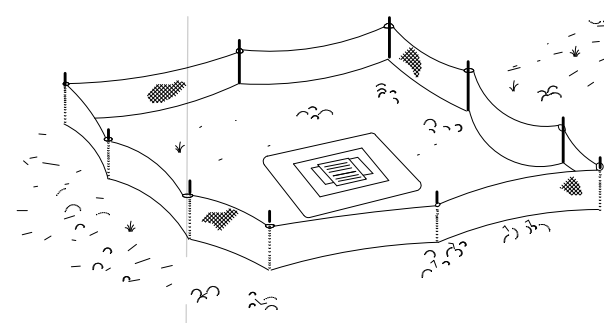


State of Florida, Maxar

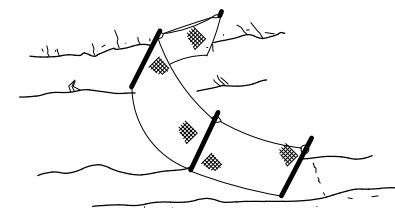


GRADING AND DRAINAGE NOTES

- ALL SOIL STRIPING, DELETERIOUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED LEGALLY BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR SPECIFIED ELSEWHERE IN THE PLANS FOR SELECTED DISPOSAL. IN NO CASE WILL BURIAL OF DISPOSABLE MATERIALS BE ALLOWED WITHIN THE PAVEMENT AREAS, BUILDING PAD AREAS, POND OR SWALE BERMS OR EMBANKMENTS, OR IN REAR YARDS ADJACENT TO PONDS OR LAKES.
- ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER.
- THE CONTRACTOR SHALL INSURE THAT PROPER SOIL DENSITIES ARE ACHIEVED AS SPECIFIED IN THE SPECIFICATION/DETAILS AND RECOMMENDED AND TESTED BY GEOTECHNICAL ENGINEER FOR THE SUPPORT REQUIRED FOR ANY STRUCTURE EITHER PHYSICAL OR EARTHEN (I.E. PAVEMENT, DRAINAGE STRUCTURES, DRAINAGE PIPES, BUILDING PADS, AND ETC.) DESCRIBED IN THE PLANS. THE CONTRACTOR SHALL INSURE SUFFICIENT SOILS TESTING HAS BEEN PERFORMED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- ALL POND AND OPEN DRAINAGE SYSTEM (I.E. SWALES AND DITCHES) SIDE SLOPES AND DRY BOTTOMS ARE TO BE SODDED WITH NON-MUCK GROWN SOD FROM MIN. 1FT BELOW CONTROL WATER LEVEL UP TO THE TOP OF BANK ELEVATIONS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL NEWLY PLANTED GRASS, PLANT AREA, AND RETENTION/DETENTION FACILITIES UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE DEWATERING IF REQUIRED FOR THE PROJECT AND SHALL APPLY AND OBTAIN THE NECESSARY PERMITS FOR DEWATERING FROM LOCAL, STATE AND/OR FEDERAL AGENCIES.
- ALL EXPOSED EARTH ADJACENT TO STORM DRAINAGE STRUCTURES (I.E. DITCH BOTTOM INLETS, MANHOLES, MITERED-END SECTIONS, HEADWALLS, OUTFALL STRUCTURES, AND ETC.) SHALL BE SODDED.
- ALL PAVEMENT AND CONCRETE AREAS SHALL HAVE A MINIMUM OF 0.5% LONGITUDINAL OR LATERAL SLOPE.
- LOT GRADING TYPE A.
- NEW CONSTRUCTION TO BE DONE SO AS NOT TO IMPOSE ANY ADDITIONAL RUNOFF ONTO NOR IMPEDE RUNOFF FROM ADJACENT PROPERTIES.
- FILL MAY BE REQUIRED TO CONSTRUCT THE HOUSE PAD. IMPORTED FILL SHALL HAVE LESS THAN 5% PASSING 200 SIEVE AND ALL MATERIAL (ORGANIC AND NON-ORGANIC) LARGER THAN 1-1/2" SHALL BE REMOVED.



TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS.



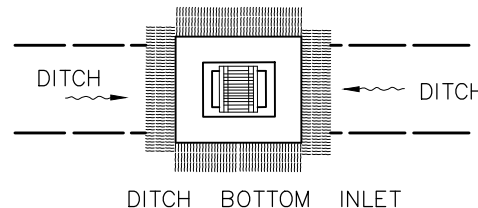
NOTE: SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHART 1, SHEET 1 OF 3 AND DITCH INSTALLATIONS AT DRAINAGE STRUCTURES SHEET 2 OF 3.

TYPE III SILT FENCE

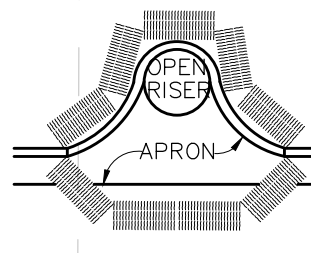
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATION AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS

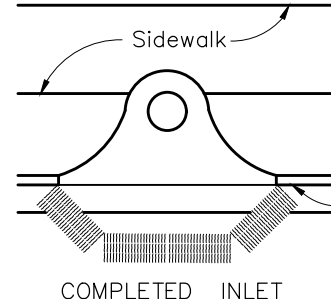
N.T.S.



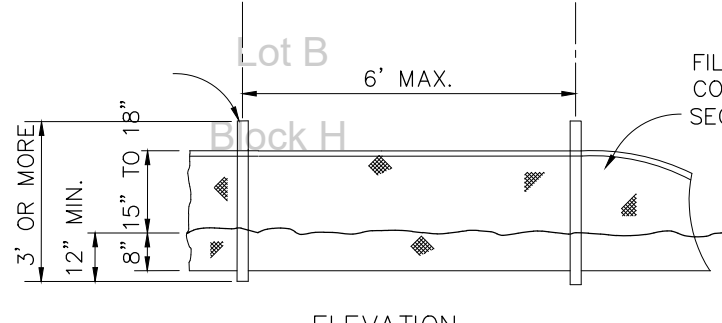
POST (OPTIONS: 2" x 4" OR 2 1/2" MIN. DIA. WOOD; STEEL 1.33 LBS/FT. MIN.)



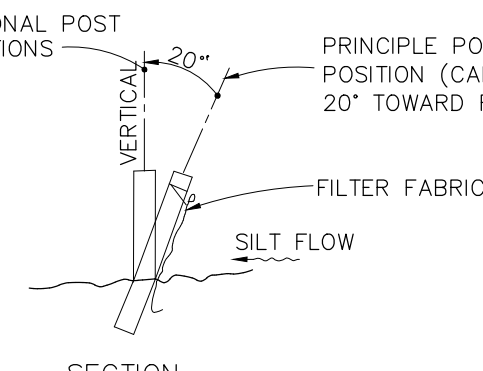
ANCHOR BALES WITH 2 - 2" x 2" x 4" STAKES PER BALE.



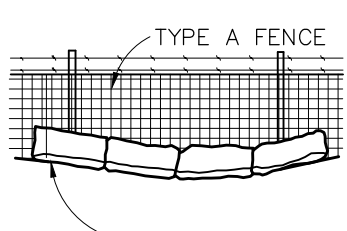
COMPLETED INLET



ELEVATION



SECTION



NOTE: BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.

TYPE III SILT FENCE

N.T.S.

SITE LEGEND

- PROPERTY LINE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PRE-DEVELOPMENT SURFACE FLOW PATTERNS
- POST-DEVELOPMENT SURFACE FLOW PATTERNS
- SIDEWALK EASEMENT

48 HOURS BEFORE DIGGING CALL TOLL FREE 1-800-432-4770 SUNSHINE STATE ONE CALL CENTER

SITE IDENTIFICATION

PARCEL IDENTIFICATION No. 21-25-29-1690-000H-0010
SECTION 21, TOWNSHIP 25S, RANGE 29E
ADDRESS WEST JUNE STREET
KISSIMMEE, FLORIDA 34741

SITE ZONING

EXISTING ZONING RB-1
FUTURE LAND USE MU-D
EXISTING LAND USE VACANT
PROPOSE LAND USE TOWNHOME

SITE AREA

EXISTING CONDITION	121	0 SF (0%)
IMPERVIOUS	66.09	10,778 SF (100%)
PERVIOUS		10,778 SF (100%)
TOTAL AREA		
PROPOSED CONDITION		
PROPOSED HOUSE (BASE FLOOR, PORCH, AND LANAI)		3,324 SF
PROPOSED CONCRETE DRIVEWAY/SIDEWALK		1,287 SF
TOTAL IMPERVIOUS		5,111 SF (51%)
TOTAL OPEN SPACE		5,667 SF (49%)
TOTAL AREA		10,778 SF ~ 0.25 AC (100%)

UNIT AREA

LOT 1	4,226 SF
LOT 2	3,452 SF
LOT 3	3,100 SF
TOTAL	10,778 SF

BUILDING SETBACK

BUILDING SETBACK	PERMITTED	PROPOSED
FRONT	5 FT	20 FT
SIDE	0 FT	5.1 FT EAST, 5.2 FT WEST
BACK/REAR	5 FT	56.1 FT

GENERAL NOTES

- THE BOUNDARY AND TOPOGRAPHIC SURVEYS FOR THIS PROJECT WERE FURNISHED BY THE CLIENT. LAM CIVIL ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF THE SURVEYS. LAM CIVIL ENGINEERING, INC. HAS USED THESE SURVEYS IN PREPARING THE CIVIL SITE PLANS. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC DATA, THE LOCATION OF EXISTING SITE FEATURES, UTILITIES, AND ALL OTHER SITE CONDITIONS SHOWN ON THE PLANS PRIOR TO COMMENCING WORK. ANY SITE CONDITIONS DIFFERENT FROM PLANS SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTES NUMBER 2.
- ANY SITE CONDITIONS DIFFERENT FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE IMMEDIATE ATTENTION OF THE OWNER/CLIENT OR ENGINEER OR ARCHITECT IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE OR SHE FAILS TO PROVIDE WRITTEN NOTIFICATION TO THE OWNER/CLIENT OR ARCHITECT OR ENGINEER.
- THE LOCATION OF ALL EXISTING UTILITY SERVICES, FACILITIES AND STRUCTURAL FEATURES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE COMPLETENESS OF THE INFORMATION PROVIDED. ANY INACCURACY OR OMISSION IN SUCH INFORMATION SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROTECT SUCH EXISTING FEATURES FROM DAMAGE OR UNSCHEDULED INTERRUPTION OF SERVICES. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, CONTRACTOR SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTES NUMBER 2.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, DISRUPTION OF SERVICE, OR CLARIFICATION WITH THE UTILITY COMPANIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. PRIVATE UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANY AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANY DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE BY THE VARIOUS UTILITY COMPANIES SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL EXAMINE THE SITE FOR ALL CONDITIONS WHICH MAY AFFECT THIS PROJECT EITHER WITHIN THE PROJECT LIMITS AND/OR ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND ASSURING THAT NO EXISTING UTILITIES, DRAINAGE SYSTEM STRUCTURES, OR PHYSICAL STRUCTURE IS WITHIN THE LIMITS OF THE PROJECT. THE OWNER AND THE ENGINEER ASSUME NO RESPONSIBILITY FOR SUBSURFACE CONDITIONS OR FOR THE CONTRACTOR'S FAILURE TO IDENTIFY, LOCATE, AND PROTECT EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND IN-HAND PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND REGULATORY AGENCIES APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.
- AS-BUILT DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER UPON PROJECT CONSTRUCTION COMPLETION BUT PRIOR TO FINAL CERTIFICATION OF COMPLETION BY THE ENGINEER AND LOCAL REGULATORY AGENCIES (SEE AS-BUILT NOTES FOR SPECIFIC REQUIREMENTS).
- THE CONTRACTOR SHALL COORDINATE BETWEEN MECHANICAL, ELECTRICAL, IRRIGATION, ARCHITECTURAL, CIVIL, AND ETC., IF ANY DISCREPANCIES ARE FOUND THE CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IN WRITING IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION ALL EXISTING CORNER MONUMENT AND/OR BENCHMARKS. DISTURBED CORNER MONUMENT AND/OR BENCHMARKS SHALL BE RESTORED BY FLORIDA LICENSED SURVEYOR.
- CONCRETE APRON SHALL BE 6" THICK AND DRIVEWAY SHALL BE 5" THICK. ALL CONCRETE SHALL BE 3,000 PSI AND 28TH DAY WITH FIBER MESS REINFORCEMENT (1.5 LB/CY OF CONCRETE) PER FDOT SPEC. #350. WIRE MESH 44" W/2" DIA. SHALL BE PLACED 2" FROM BOTTOM OF CONCRETE. CONCRETE BASE/SUB-GRADE MATERIAL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR 12 INCHES BEYOND CONCRETE AREA. CONCRETE DRIVEWAY SHALL HAVE CONTRACTION JOINTS EVERY 200 SQUARE FEET (SF) AND EVERY 600 SF OR ADJACENT TO DIFFERENT MATERIAL THERE SHALL BE AN EXPANSION JOINT FULL LENGTH PER AMERICA CONCRETE INSTITUTE (ACI). CONCRETE DRIVEWAY SHALL HAVE 1" ELASTIMETRIC EXPANSION JOINTS AND CONTRACTION JOINTS (SAWCUT DEPTH d=D/4) PER AMERICA CONCRETE INSTITUTE (ACI) AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS. MINIMUM SLOPE SHALL BE 1% LONGITUDE AND 0.5% CROSS SLOPE (LATITUDE). MAXIMUM LONGITUDINAL SLOPE IS 15% FOR CONCRETE DRIVEWAY.
- CONCRETE DRIVEWAY WITHIN THE ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED TO CITY OF KISSIMMEE CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- A SEPARATE DRIVEWAY PERMIT, AVAILABLE THROUGH THE PUBLIC WORKS DEPARTMENT, IS REQUIRED FOR ANY NEW DRIVEWAY CONNECTION.

Quang T Lam
Digitally signed by Quang T Lam
DN: cn=Quang T Lam, c=US
Reason: I am the author of this document
Location: 1320 W Pine Street,
Orlando, FL 32805
Date: 2023.08.04 00:40:08 -0400
Email: QuangT@Gmail.com
10.1.1

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE INDIVIDUAL NAMED ABOVE, USING A DATED DIGITAL SIGNATURE IN THE SPACE BELOW, PER F.A.C. RULE 61G15-23.004. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

No.	DATE	DESCRIPTION	APPD BY
1	06/25/23	CITY OF KISSIMMEE COMM.	QTL
2	08/01/23	CITY OF KISSIMMEE DRC COMM.	QTL

TOWNHOMES AT
JUNE STREET

KISSIMMEE, FL 34744

SITE AND GRADING PLAN

CLIENT:

YOVANNI ACOSTA
YOVANNYCOMPRESS01@HOTMAIL.COM

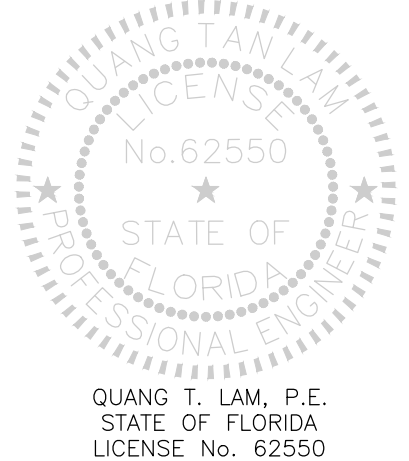
LAM
Civil Engineering, Inc.

1320 W PINE STREET
ORLANDO, FL 32805

PHONE: 407-254-0040
CELL: 407-234-8944

CERTIFICATE OF
AUTHORIZATION No. 27340

THIS DOCUMENT AND ANY DESIGN DOCUMENTS RELATED TO THIS PROJECT IS THE PROPERTY OF LAM CIVIL ENGINEERING, INC. AND IS COPYRIGHTED. THIS DOCUMENT IS INTENDED TO BE USED BY THIS PROJECT, ANY REPRODUCTION, DISTRIBUTION, OR USE OF THIS DOCUMENT IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF LAM CIVIL ENGINEERING, INC.



PROJECT No. 2023.999.10

DATE: 08-03-23

DRAWN BY: LCE

APPROVED BY: QTL

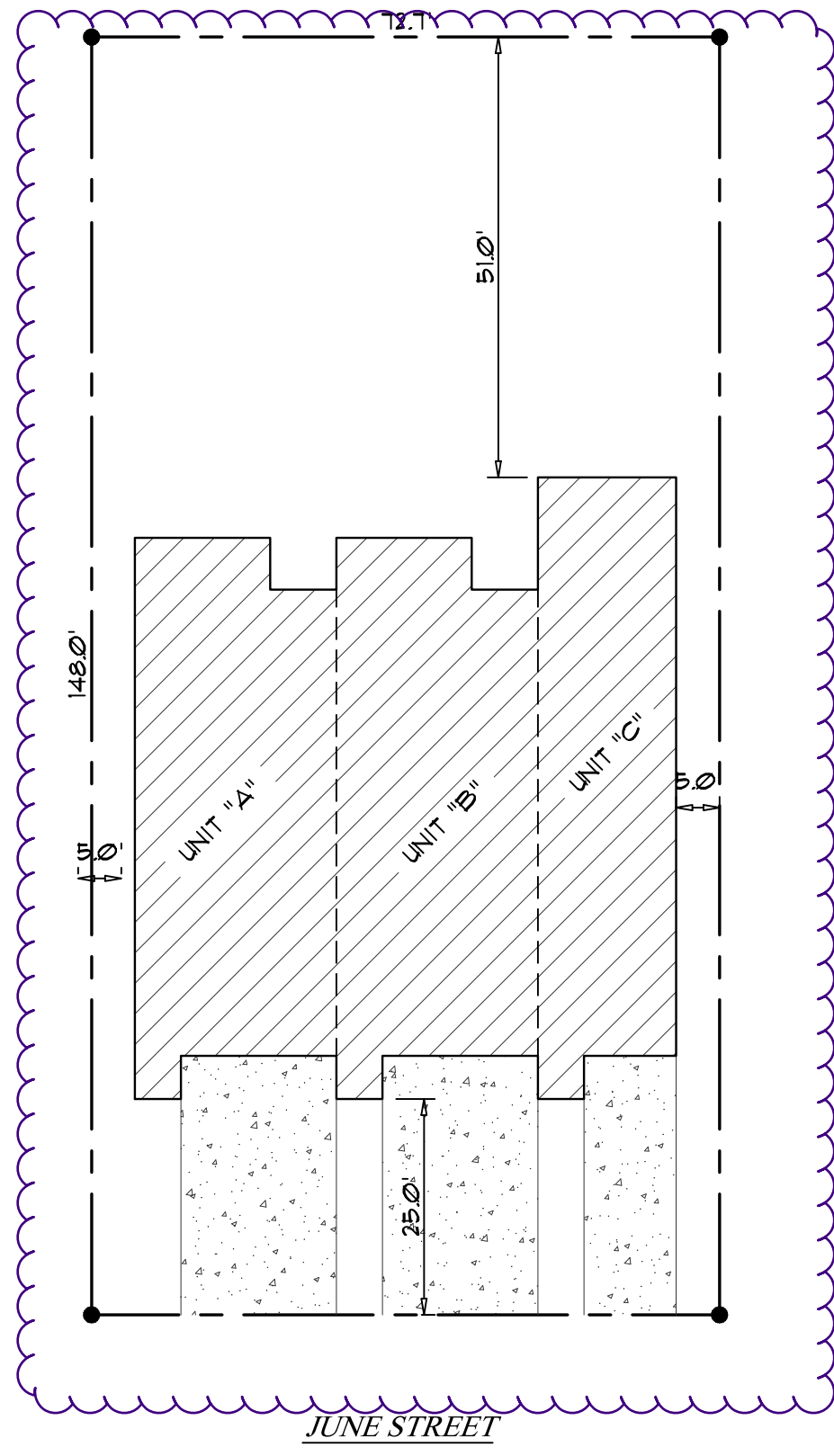
SHEET C1

UNIT "A"	
FIRST FLOOR	853 S.F.
SECOND FLOOR	1,369 S.F.
TOTAL AIR COND. AREA	2,228 S.F.
GARAGE	378 S.F.
ENTRY	64 S.F.
LANAI	94 S.F.
AREA UNDER ROOF	2,764 S.F.

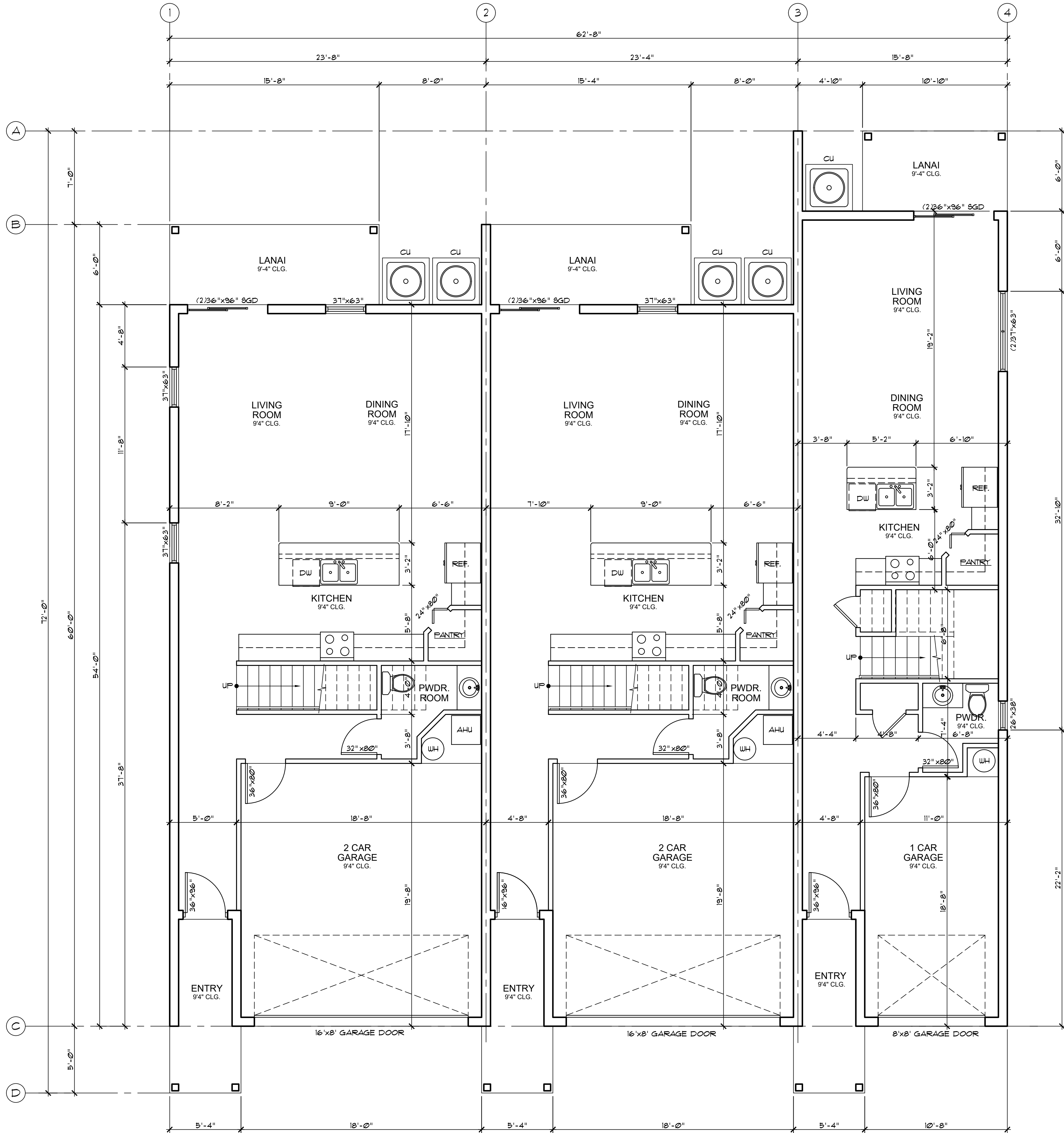
UNIT "B"	
FIRST FLOOR	843 S.F.
SECOND FLOOR	1,349 S.F.
TOTAL AIR COND. AREA	2,192 S.F.
GARAGE	378 S.F.
ENTRY	64 S.F.
LANAI	94 S.F.
AREA UNDER ROOF	2,728 S.F.

UNIT "C"	
FIRST FLOOR	710 S.F.
SECOND FLOOR	974 S.F.
TOTAL AIR COND. AREA	1,684 S.F.
GARAGE	211 S.F.
ENTRY	64 S.F.
LANAI	65 S.F.
AREA UNDER ROOF	2,024 S.F.

TOTAL BUILDING AREA	
TOTAL AIR CONDIT. AREA	6,104 S.F.
TOTAL AREA UNDER ROOF	7,516 S.F.



SITE PLAN
SCALE: 1"=20'-0"



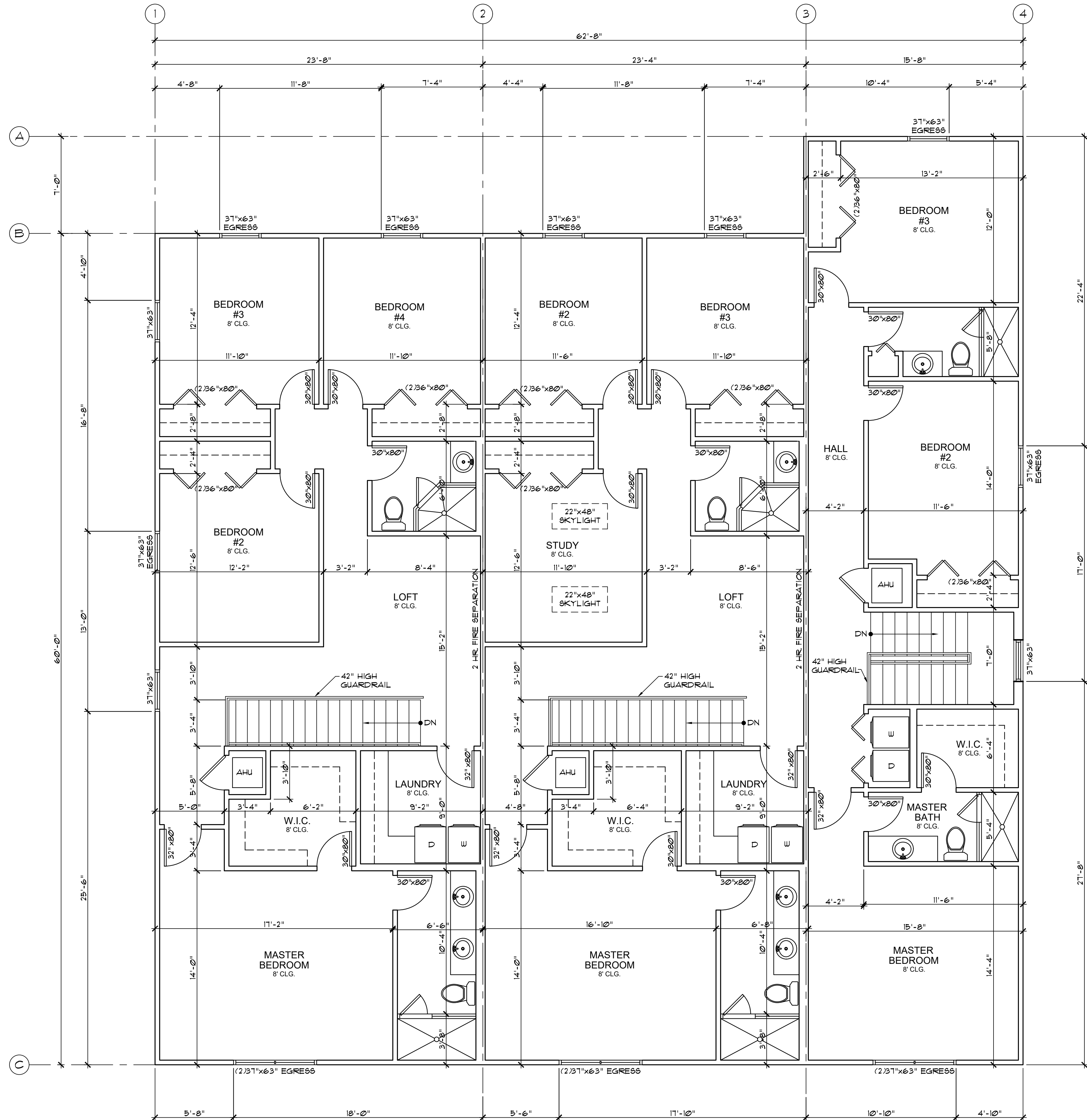
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO	DATE	DESCRIPTION

TOWNHOMES AT
JUNE STREET
KISSIMMEE, FL.

DRAWN CARLOS
CHECKED J.O.
DATE 04-14-23
SCALE AS SHOWN
JOB NO N/A
SHEET

A1



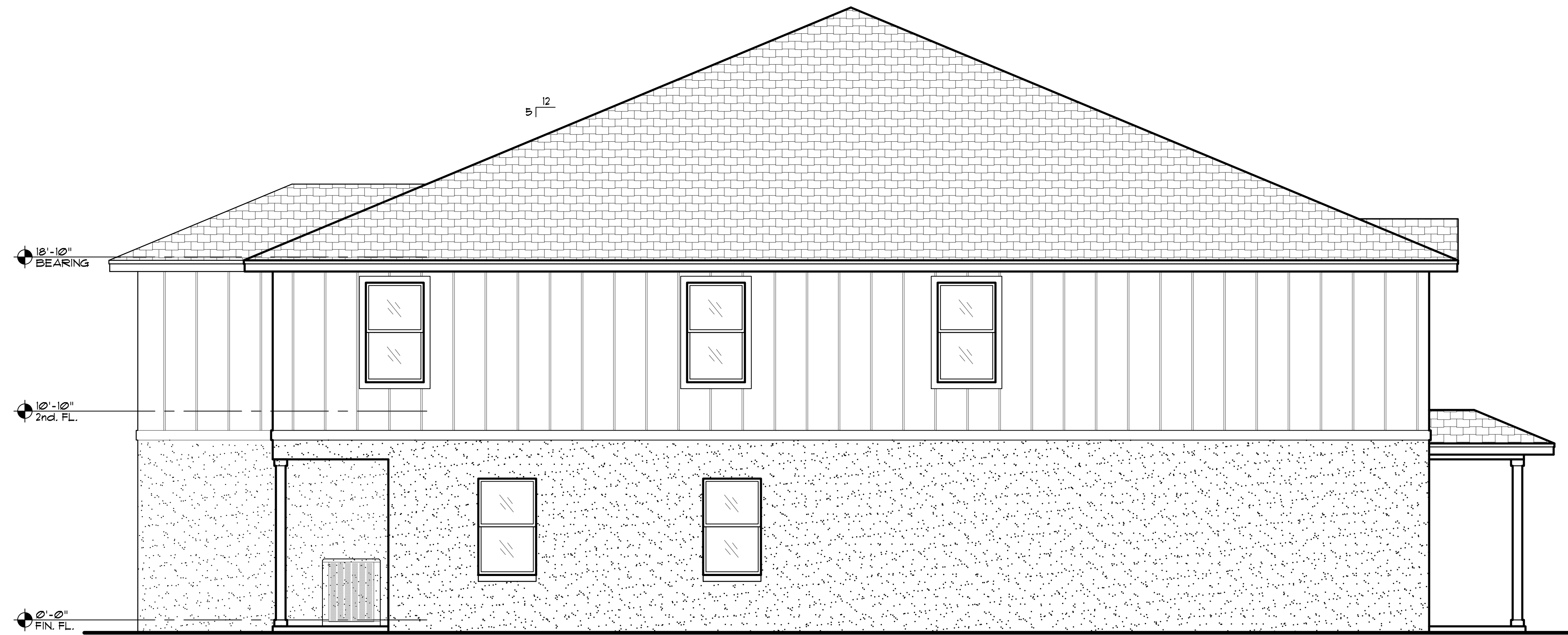
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO	DATE	DESCRIPTION

TOWNHOMES AT
JUNE STREET
KISSIMMEE, FL.

DRAWN CARLOS
CHECKED J.O.
DATE 04-14-23
SCALE AS SHOWN
JOB NO N/A
SHEET

A2



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



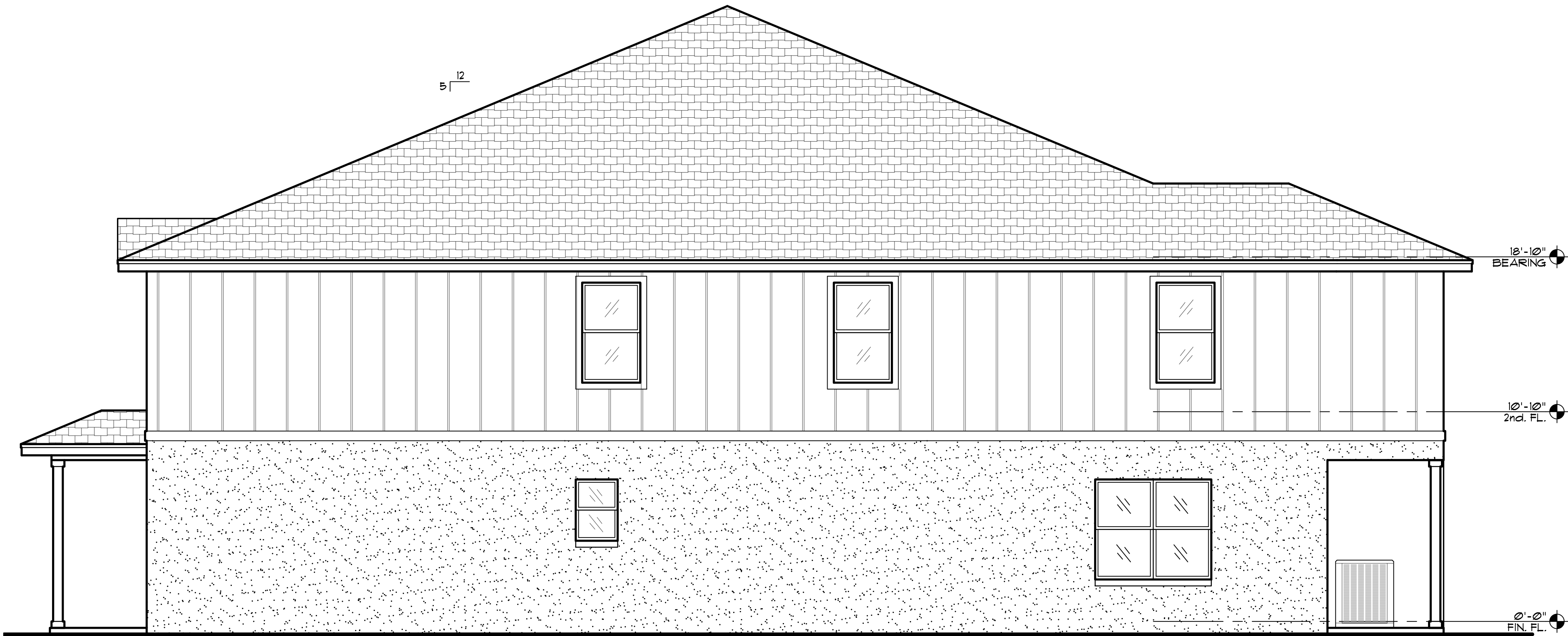
FRONT ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS		
NO	DATE	DESCRIPTION

TOWNHOMES AT
JUNE STREET
KISSIMMEE, FL.

DRAWN CARLOS
CHECKED J.O.
DATE 04-14-23
SCALE AS SHOWN
JOB No N/A
SHEET

A3



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS		
NO	DATE	DESCRIPTION

TOWNHOMES AT
JUNE STREET
KISSIMMEE, FL.

DRAWN CARLOS
CHECKED J.O.
DATE 04-14-23
SCALE AS SHOWN
JOB No N/A
SHEET

A4

Published Daily
ORANGE County, Florida

Sold To:

City of Kissimmee Planning Services - CU80085212
101 Church St, Ste 110
Kissimmee, FL 34741

Bill To:

City of Kissimmee Planning Services - CU80085212
101 Church St, Ste 110
Kissimmee, FL 34741

State Of Florida
County Of Orange

Before the undersigned authority personally appeared
Rose Williams, who on oath says that he or she is a duly authorized
representative of the ORLANDO SENTINEL, a DAILY newspaper
published in ORANGE County, Florida; that the attached copy of
advertisement, being a Legal Notice in:

The matter of 11150-Public Hearing Notice
Was published in said newspaper by print in the issues of, or by publication
on the newspaper's website, if authorized on Sep 26, 2023.

Affiant further says that the newspaper complies with all legal requirements
for publication in Chapter 50, Florida Statutes.



Signature of Affiant

Rose Williams

Name of Affiant

Sworn to and subscribed before me on this 27 day of September, 2023,
by above Affiant, who is personally known to me (X) or who has produced identification ().



Signature of Notary Public



Name of Notary, Typed, Printed, or Stamped

7505209

**NOTICE OF PUBLIC HEARING PLANNING
ADVISORY BOARD**

This is to inform you that the Planning Advisory Board of the City of Kissimmee will consider a request for a Conditional Use request to establish townhomes. The Planning Advisory Board will hold a meeting on Wednesday, October 4, 2023 at 6:00 p.m. at the City Commission Chambers, 101 Church St., Kissimmee, FL 34741.

The subject property is located at 1040 June St. Parcel ID: 21-25-29-1690-000H-0010

Any interested party wanting to be heard on this issue may submit testimony to be read into the official record to CityClerkEmail@kissimmee.gov prior to the start of the meeting or may be heard by participating in person.

Any questions regarding this public hearing may be directed to the Development Services Department at (407) 518-2140 or planning@kissimmee.gov .

Reference # CU-23-0005
1040 June St.
PLANNING ADVISORY BOARD
KISSIMMEE, FLORIDA

In accordance with Florida Statute 286.26, persons needing assistance to participate in any of these proceedings should contact the Office of the City Clerk (407) 518-2308 prior to the meeting. (FS286.26)

In accordance with Florida Statute 286.0105: any person wishing to appeal any decision made by the City Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is made.
9/26/2023 7505209

7505209



THE FOLLOWING SHALL BE USED AS AN ADDENDUM TO ANY PLAN, FILE, OR OTHER DOCUMENT REVIEWED IN ENERGVO & BLUEBEAM

ADDRESS: 1040 June St.

DATE: 9/11/2023

PLAN NUMBER: CU-23-00005 1040 June St. Multifamily – 3rd Review

**Review Status:
APPROVED WITH CONDITIONS.**

PLANNING - Brenda Ryan - 407.518.2104 - Brenda.Ryan@kissimmee.gov

General/Development Standards

1. **Not addressed**: There is no response to the previous DRC comments which makes this review difficult. Provide a response to all DRC comments.

Provide responses to all DRC staff comments when construction plans are submitted. Will be included as a Planning Advisory Board (PAB) condition of approval.

2. Three (3), fee simple townhomes are proposed and require Conditional Use (CU) approval from the Planning Advisory Board (PAB).
3. **Partially Addressed**: A Site Plan that includes information about the parking requirements, total sq. ft. of each unit, is needed to complete this review.

Include provided parking with construction plan review. Site Plan depicts 2 townhome units with a 2 car garage with driveway and a townhome unit with a single car garage with driveway. Each townhome unit requires a minimum of two (2) parking spaces per unit.

Parking & Roadways

4. **Addressed**: There are no sidewalk improvements included. The streetscape zone is measured **from the back of the curb** on June Street must include an 8ft. furnishing zone and a 6ft. sidewalk. 14-5-9E9

Will be included as a Planning Advisory Board (PAB) condition of approval to provide streetscape zone improvements on June St.

5. **Not Addressed**: Driveways must be of brick/paver blocks or decorative stamped concrete. Asphalt or concrete driveways shall be prohibited. 14-7-24A(3)c

Will be included as a Planning Advisory Board (PAB) condition of approval.

Architectural/Design Standards

6. **Not addressed**: The front façade of each building shall have variable setbacks from the street to avoid monotonous façades. All of the units have the same setback. Revise. 14-6-43H

7. **Not addressed**: The distance between adjacent driveway surfaces and/or garage doors shall vary to avoid monotony. 14-6-43I
8. **Not addressed**: Garages shall be located no less than 3 feet and no more than 5 feet **behind** the structure's adjacent and forwardmost, enclosed living or entry area. The garages are in front of the entry area.
9. **Partially addressed**: Architectural features, such as gables, dormers, entranceways, proportioned and trimmed front windows, and porches or patios (suitable in size to accommodate seating for the dwelling's occupants) shall be emphasized. 14-6-43K
10. **Partially addressed**: All elevations shall incorporate a comparable proportion of window surface area and associated ornamental features, such as molding and muntins, exposed rafters, decorative gables, dormers, first and second floor horizontal divider banding, decorative trim features, or similar elements. 14-6-43L
11. **Not addressed**: All residential dwellings shall be raised a minimum of 18 inches from finished exterior grade. Waivers from this requirement may be approved during site plan review by DRC for alternative design proposals consistent with this provision's intent of requiring traditional architectural design themes. 14-6-43P
12. **Partially addressed**: All front-loading garage doors shall incorporate a pattern (stamped doors or similar design) or windows. In addition, **at least one of the following** design features shall be required:
 - a. A garage door surface that is recessed a minimum of one foot behind the front face of the garage wall;
 - b. An overhead trellis or arbor feature spanning over the garage opening and projecting a minimum of three feet from the face of the garage; or
 - c. A useable space (i.e., air conditioned or open air balcony) that projects overhead from the front face of the garage (minimum three feet; cantilevered or with supporting columns), and extends over the full width of the garage opening.

All architectural and design standards must be addressed with the construction plan submittal and review.

Landscaping

13. **Not addressed**: Landscaping shall be provided within the driveway separators. When the driveways of 2 adjacent units are located immediately next to each other, a separator planting strip, a minimum 30 inches in width, and extending 15 feet from the structure, shall be provided between the 2 adjacent driveway surfaces. Such planting strip shall be planted with shrubs and ground cover. 14-6-43J & 14-7-24A(3)d



- a. After the landscaped planting strip is added to separate the driveways, include **the width** of each individual driveway. For front loaded garages, driveways shall be a minimum of 8 feet in width and 18 feet in depth for a single vehicle, and have a garage door width of no more than 10 feet. 14-7-24A(3)a
14. **Not addressed**: Landscaping plans must be provided. Plant species, quantities, and specifications should be included on the landscaping plans.
15. **Not addressed**: How will trash be collected?

All landscaping standards must be addressed with the construction plan submittal and review.

Advisory Comments (To be addressed with Construction Plan Submittal)

16. Provide a note on the geometry, demo, land clearing, and the grading sheets in capitalized letters indicating that when any roots of existing trees are encountered during land clearing and/or grading of the site, the roots must be cut off evenly with clean sharp pruning tools. The contractor/developer shall minimize the damage to existing tree root systems.
17. Signage:
 - a) Note that all signage will be reviewed and permitted through a separate building permit.
 - b) Please note that per Code, cabinet signs with internal illumination with translucent background panels are prohibited. When submitting the sign permit, please provide a detail showing how this sign will be illuminated at night. 14-11-3B
18. Street lighting shall be provided along all streets within the area between sidewalks and curbs, at intervals no less than 75 feet in length, and shall comply with illumination standards adopted by the city. To avoid conflicts with street trees and to provide pedestrian-scale lighting, street lighting structures shall not exceed 18 feet in height. Where sidewalks abut the curb, street lighting structures shall be provided as close to the curb as possible. Decorative or similar street lighting shall be utilized. All concrete or aluminum poles and mast arms shall have decorative features. LDC 14-7-6
19. Provide a photometric plan with the Preliminary Site Development Plan. Light locations and styles shall be chosen to reduce any potential light pollution spilling onto adjacent rights-of-way. Please provide location, photometric and shielding plan for proposed lighting accordingly. LDC 14-10-9
20. Provide a note on the plans that all mechanical equipment located outdoors, such as heating, ventilation, air conditioning, refrigeration systems, and KUA transformers, shall be visually screened from adjacent rights-of-way. Provide the location of all such mechanical equipment, and indicate the location and types of screening to be used. 14-4-6D(4)
21. Provide an irrigation system plan for all pervious areas, which indicate the location, type, connections, meter, rain sensor device, and backflow preventer. Said plans shall be provided in conjunction with preliminary site development plans and approved prior to final site development plan approval. 14-8-24
22. For your information, any Mobility and Impact fees will be due at time of permit issuance. To find out more information please contact Juan F. Hernandez at 407-518-2233 of the Development Services Building Division for Mobility fees. Contact Toho Water Authority at 407-944-5000 for water/sewer impact fees and the School District for school impact fees.
23. All applicable code requirements of the City of Kissimmee Code of Ordinances shall be adhered to for any proposed use(s) and its processes.

If you have any questions regarding the comments/conditions above, please use the contact information provided.

Please login to the Citizen Self Service portal at www.kissimmee.gov.energov to upload a response to comments.

Additional comments may be forth coming as a result of revisions to the plans, any new changes in the information provided, future plan review up to plan approval and permitting and/or with submittal of supporting documentation. When submitting, please provide a response to comments outlining where and how the comments have been addressed.



THE FOLLOWING SHALL BE USED AS AN ADDENDUM TO ANY PLAN, FILE, OR OTHER DOCUMENT REVIEWED IN ENERGОВ & BLUEBEAM

**ADDRESS: 1040 JUNE ST
PLAN (DRC) NUMBER: CU-23-0005**

DATE: 8/25/2023

**Review Status:
APPROVED WITH COMMENTS.**

BUILDING DIVISION – Albert Rocco - 407.518.2158 - Albert.Rocco@kissimmee.gov

Comments/Conditions (if applicable):

- 1) Advisory: Design alterations may be required at permit application, for the Study located in unit B, in order to comply with the Florida Building Code.**

If you have any questions regarding the comments/conditions above, please use the contact information provided.

Please login to the Citizen Self Service portal at www.kissimmee.gov.energov to upload a response to comments.

Additional comments may be forthcoming as a result of revisions to the plans, any new changes in the information provided, future plan review up to plan approval and permitting and/or with submittal of supporting documentation. When submitting, please provide a response to comments outlining where and how the comments have been addressed.



THE FOLLOWING SHALL BE USED AS AN ADDENDUM TO ANY PLAN, FILE, OR OTHER DOCUMENT REVIEWED IN ENERGOV & BLUEBEAM

ADDRESS: 1040 June St.

DATE: 5/8/2023

PLAN (DRC) NUMBER:DRC-19-00023

**Review Status:
APPROVED WITH CONDITIONS.**

FIRE DIVISION - Chris Alessandri - 407.518.2339 - Chris.Alessandri@kissimmee.gov

Comments/Conditions (if applicable):

1. Indicate on your plans, that your fire department access road has an unobstructed width of 20ft. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.4.1.1) and has an unobstructed vertical clearance of 13Ft. 6in. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.4.1.2)

NOTE: This includes blockage from large canopy trees, landscape islands, and/or parked cars that may obstruct the KFD Tower Truck from turning or driving thru your property.

NOTE: Vertical clearances or road widths shall be increased when vertical clearances or road widths are not adequate to accommodate fire apparatus.

2. A fire department access road shall extend to within 50 ft. of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.2.1)

NOTE: Where a one- or two-family dwelling, or townhouse, is protected with an approved automatic sprinkler system that is installed in accordance with NFPA 13D or NFPA 13R, as applicable, the distance shall be permitted to be increased to 150 ft. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.2.1.1)

3. A fire department access road shall extend to within 50 ft. of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.2.1)

NOTE: Where a one- or two-family dwelling, or townhouse, is protected with an approved automatic sprinkler system that is installed in accordance with NFPA 13D or NFPA 13R, as applicable, the distance shall be permitted to be increased to 150 ft. (FFPC, NFPA 1 Uniform Fire Code, Florida 2015 edition sub-section 18.2.3.2.1.1)

4. Fire department roads shall be measured from the edge of pavement to edge of pavement, or as determined by the Fire Department. (LDC 14-7-32 B (4))

If you have any questions regarding the comments/conditions above, please use the contact information provided.

Please login to the Citizen Self Service portal at www.kissimmee.gov.energov to upload a response to comments.

Additional comments may be forth coming as a result of revisions to the plans, any new changes in the information provided, future plan review up to plan approval and permitting and/or with submittal of supporting documentation. When submitting, please provide a response to comments outlining where and how the comments have been addressed.



THE FOLLOWING SHALL BE USED AS AN ADDENDUM TO ANY PLAN, FILE, OR OTHER DOCUMENT REVIEWED IN ENERGОВ & BLUEBEAM

ADDRESS: June St., Kissimmee, 34741
PLAN (DRC) NUMBER: CU-23-0004

DATE: 5/9/2023

Review Status:
APPROVED.

**OSCEOLA COUNTY SCHOOL DISTRICT - Tamara Pelc - 407.518.2964 ext. 65411 -
Tamara.Pelc@osceolaschools.net**

Comments/Conditions (if applicable): This Conditional Use Site Plan has a de minimus impact on public school capacity.

If you have any questions regarding the comments/conditions above, please use the contact information provided.

Please login to the Citizen Self Service portal at www.kissimmee.gov.energov to upload a response to comments.

Additional comments may be forth coming as a result of revisions to the plans, any new changes in the information provided, future plan review up to plan approval and permitting and/or with submittal of supporting documentation. When submitting, please provide a response to comments outlining where and how the comments have been addressed.



THE SCHOOL DISTRICT OF OSCEOLA COUNTY, FLORIDA
PLANNING SERVICES DEPARTMENT
SCHOOL CAPACITY REPORT

SDOC#: 2022/23-0220

DRC#: CU-23-0004

Current FLU: MXD
Requested FLU: N/A

PROJECT NAME: June Street Apartments

Current Zoning: T4-R
Requested Zoning: N/A

PROJECT LOCATION: June St., Kissimmee, 34741

COMMENTS DUE DATE: 5.18.23

PID#: 21-25-29-1700-0001-0010;
0030;0050;0075;0055;0070, and 0095

This Conditional Use Site Plan has a de minimis impact on public school capacity.

THE FOLLOWING SHALL BE USED AS AN ADDENDUM TO ANY PLAN, FILE, OR OTHER DOCUMENT REVIEWED IN ENERGОВ & BLUEBEAM

DATE: 7/26/2023

PROJECT: Quadruplex at June Street

SITE PLAN (DRC) NUMBER: CU-23-0005

REVIEW NUMBER: 2

**Review Status:
APPROVED WITH CONDITIONS**

ENGINEERING DEPARTMENT - Ryan Kilman - 407.518.2279 - ryan.kilman@kissimmee.gov

ADVISORY COMMENTS/CONDITIONS OF APPROVAL (No Responses Necessary):

SITE SPECIFIC

- Comments based on plans uploaded 6/26/2023.
- It appears that the plans have changed from the original submission, and the number of units has decreased, resulting in this development now being a triplex unit instead of a four-unit development. As a consequence, this project is now exempt from stormwater management plan review, as stated in 14-10-3(A)(2)(a). Any comments or conditions will be provided during the building permit review process.
- Any references to "4 Multiplex" or "Quadruplex" should be corrected in the permitting system.

###



DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: QUADRUPLEX DRC# _____

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature: _____ Date: 04/17/2023

Agent Name (Print): YOVANNY ACOSTA

Property Owner Signature: _____ Date: 04/17/2023

Property Owner Name (Print): YOVANNY ACOSTA



CITY OF KISSIMMEE DEVELOPMENT SERVICES SITE PLAN AND SITE SPECIFIC REDEVELOPMENT PLAN REVIEW CRITERIA CHECKLIST

Project Name: QUADRUPLIX

Subject Property Address: 1040 JUNE ST KISSIMMEE

Subject Property Parcel ID #: 2125291690000H0010

Site Plan review requires 15 – 24"x36" black or blue line prints to include the following criteria below to be shown on submitted site plans and accompanying maps, drawn to a scale no smaller than 1-inch = 100-feet, and prepared by the appropriate combination of qualified professionals. (NOTE: Site Development Construction plans shall be prepared by a civil engineer licensed by the State of Florida). Please include this site plan review checklist in addition to other required submittals to the Development Services Department Planning Division. Indicate (NA) for items that are not applicable to the review. 2 copies of conceptual building elevations will need to accompany this checklist if Site Specific Redevelopment Plan is requested.

Note: All paper plans shall be accompanied by a PDF of the drawings, submitted via email or CD-ROM

General Information

- YC *Owner and Professional Agent:* The name, address, and phone number of the owner and the professional agent.
- YC *Location Map:* Map indicating the location of the proposed development in relation to surrounding streets, and existing zoning and land use on adjacent land.
- YC *Traffic:* For larger projects, any data or analysis the City may require to supplement concurrency review.
- YC *Intent of use or development:* Statement of objectives, general proposed, and the proposed use(s) to be accommodated within the proposed project.
- YC *Land Use and Zoning Designations:* Comprehensive Plan Future Land Use and Zoning Map Designations for the subject site and adjacent properties.
- YC *Density and/or Intensity:* Project acreage, density by dwelling unit type; types of non-residential uses and their gross floor areas.
- YC *Legal Description:* The subject site's legal description.
- YC *Topo and Boundary Survey:* A signed and sealed topography and boundary survey of the subject site.
- YC *Phasing:* If any, including the time, rationale, density and other impacts on public facilities, by phase.

Existing and Proposed Site Improvements

- YC *Structures:* Location of existing and proposed structures (including structures located within 25-feet of the property line) plus approximate building dimensions, building height, setbacks, square footage, finish floor elevations, proposed uses and whether sprinkler systems are proposed.
- YC *Dedications Rights-of-Way and Easements:* On-site and adjacent dedications, rights-of-way and easements.
- YC *Streets, Circulation, & Parking:* Existing and proposed streets, pedestrian and bike path, parking areas and driveways, including any connections to off-site facilities within 25-feet; location and dimensions of access points; location and number of required and provided parking spaces and loading spaces, including parking requirement data and dimensions, handicapped parking, access aisle, ramps, signage; curbing; and existing and proposed turn lanes.
- YC *Walls:* Location of existing and proposed walls, fences, and entrance features, and their height, type and size.

- YC
Utilities: Existing and conceptual utility layout, including water, sewer, gas and on-site lighting; connections to off-site facilities within 25-feet.
- YC
Signs: Conceptual type, size, height and locations of all site identification signage.
- YC
Conceptual Landscape and Irrigation Plan: Plan showing type and location of natural vegetation to be preserved and to be removed, location of proposed landscape and buffer areas in accordance with the City Code and City Plant List, sight triangles, and proposed landscaping and buffering concept (including approximate location of proposed walls, berms, hedges, and trees), drawn to the same scale as the site plan.
- YC
Open Space: Location, percentages, and purpose of open space and impervious areas, including any proposed recreation area and amenities.
- YC
Slopes: Unusual grading affecting relationship of building shall be shown on a preliminary grading plan.
- YC
Drainage: Direction of stormwater flow and method of disposition of surface drainage (including retention/detention areas), including location of any existing stormwater facilities within 25-feet of the property.
- YC
Fire Protection: Existing and conceptual location of fire hydrants, fire lanes and fire engine accessibility.
- YC
Solid Waste: Garbage storage provisions, including full enclosure, a minimum of 6-feet in height and constructed in like manner of the building.
- YC
Soils: Soil conditions and muck depths (where applicable) based upon the Soil Survey of Osceola County.
- YC
Flooding, Wetlands and Other Environmentally Sensitive Lands: 100-year floodplain and floodway boundaries; location of any wetlands, wellfield protection areas and other environmentally sensitive areas, including the soil and vegetation basis for such a determination.

I certify that all of the information listed above has been provided if applicable on the site plan and/or accompanying documents. Lack of information provided may constitute as an incomplete submittal, thus delaying the review process.

Signed: yovanny acosta

Date: 04/17/2023

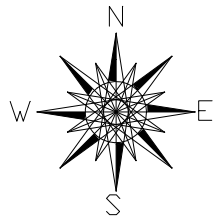
Please Note: The list is provided to ensure that all site plans submitted are uniform and contained the minimum information required for review under Section 14-2-191 of the City of Kissimmee Land Development Code. It is not intended to be an inclusive list of all ordinance requirements. Please direct questions concerning site plan review to the City of Kissimmee Development Services Department at (407)518-2140.

Approximate Review Time for a Site Plan Request:

Review Type	Progressive Review Time
- Submittal of Application and necessary documents (see DRC schedule for submittal dates. DRC meets every other Tuesday.)	
- Development Review Committee meeting with the applicant - 2 weeks	2 Weeks
- Submittal Site Development Plans**	
- Preliminary Site Development Review (Construction Plans) – 3 weeks	5 Weeks
- Resubmittal of Site Development Plans	
- Final Site Development Review (Construction Plans) *** - 3 weeks	8 Weeks
- Development Order Issued	
Approximate Time of Review Total	8 - 10 Weeks

Estimation does not include review time for PUD Site Plan, and Minor Site Plan requests. Estimations may vary. Dependent upon necessary revisions, resubmittals, permits and any other required documentation. ** Process does not include building construction plan. See Building Division for submittal requirements. *** Dependent upon if all preliminary site development comments have been addressed and revised.

11/20/09



SCALE 1"=50'
North per Plat

BOUNDARY SURVEY

Flood Insurance Rate Map:

Community Number: 120190 Panel: 0066
Suffix "G" Flood Insurance Rate Map
Dated June 18, 2013 Flood Zone: " X "
Map ID: 12097C0066G

Basis of Bearing:

Bearings shown hereon are based on the
SOUTH Right-of-Way line of JUNE STREET,
ASSUMED to be N 89°48'09" E.

Legal Description:

Lot 2, Less the West 74 1/2 feet thereon, Block H, PLAN OF HENRY A.
MATTHEW'S ADDITION TO THE TOWN OF KISSIMMEE, according to the
plat thereof as recorded in Plat Book A, Page 6, of the Public
Records of Osceola County, Florida.



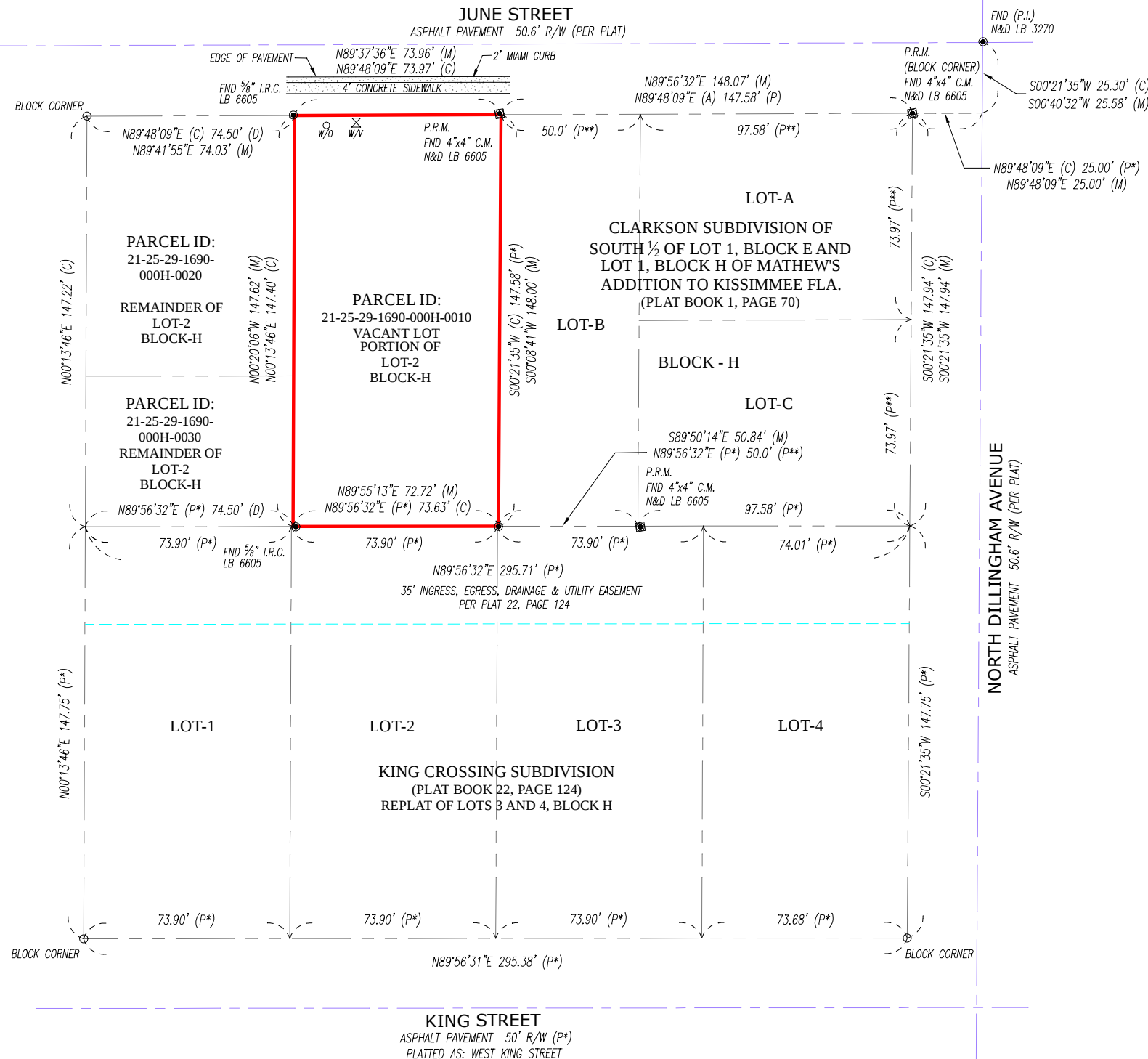
Address: 1040 June Street, Kissimmee Florida 34741

Abbreviations:

(D) = DEED
(M) = MEASURE
(P) = PLAT
(A) = ASSUMED
(C) = COMPUTED
BLK. = BLOCK
COVD = COVERED
O.H.L. = OVERHEAD LINES
CATV. = CABLE TV RAISER
C.L. = CENTER LINE
DESC. = DESCRIPTION
ELEV. = ELEVATION
ID. = IDENTIFICATION
R.O.W. = RIGHT OF WAY
R/W = RIGHT OF WAY
ESMT. = EASEMENT
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
D.U.E. = DRAINAGE UTILITY EASEMENT
P.D.E. = PRIVATE DRAINAGE EASEMENT
E.P.E. = ELECTRIC POWER EASEMENT
E.S.D.E. = ENVIRONMENTAL SWALE AND DRAINAGE EASEMENT
DRAIN. = DRAINAGE
UTIL. = UTILITY
SET I.R.C. = 1/2" I.R.C. LB 7615
I.P. = IRON PIPE
I.R. = IRON ROD
N&D = NAIL AND DISK
FND = FOUND
LS = LAND SURVEYOR
PLS = PROFESSIONAL LAND SURVEYOR
PSM = PROFESSIONAL LAND SURVEYOR AND MAPPER
RLS = REGISTERED LAND SURVEYOR
LB = LICENSES BUSINESS
I.R.C. = IRON ROD AND CAP
I.P.C. = IRON PIPE AND CAP
C.M. = CONCRETE MONUMENT
P.C.P. = PERMANENT CONTROL POINT
P.R.M. = PERMANENT REFERENCE MONUMENT
P.O.L. = POINT ON LINE
P.R.C. = POINT OF REVERSE CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
W.P. = WITNESS POINT
T.B.M. = TEMPORARY BENCH MARK
O.R. = OFFICIAL RECORD
P.O.C. = POINT OF COMMENCEMENT
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERCEPTION
P.T. = POINT OF TANGENCY
R.P. = RADIUS POINT
Δ = CENTRAL ANGLE
L = ARC LENGTH
CB = CHORD BEARING
R = RADIUS
F.F.E. = FINISH FLOOR ELEVATION
A/C = AIR CONDITIONER
W/H = WATER HEATER
W/P = WATER PUMP
CONC. = CONCRETE
CONC.FC. = CONCRETE FENCE
WD.FC. = WOOD FENCE
PVC.FC. = VINYL FENCE
CL.FC. = CHAIN LINK FENCE
AL.FC. = ALUMINUM FENCE
MT.FC. = METAL FENCE
BFP. = BACK FLOW PREVENTER
S.M.H. = STORM SEWER MANHOLE
T.M.H. = TELEPHONE MANHOLE
FH. = FIRE HYDRANT
W/M = WATER METER
W/V = WATER VALVE
W/O = WATER OULET
C/O = CLEAN OUT
LP. = LIGHTING POLE
PP. = POWER POLE
WPP. = WOOD POLE
E/B = ELECTRIC BOX
C/B = CABLE BOX

SURVEY NOTES:

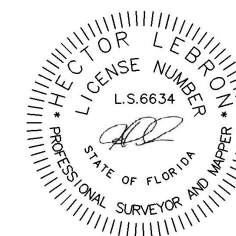
- THERE ARE NO OTHER SIGNIFICANT OBSERVATIONS.



Surveyor's Notes:

- Legal Description provided by others.
- The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the Plat.
- Underground portions of footings, foundations or other improvements were not located.
- Wall ties are to the face of the wall and are not to be used to reconstruct boundary lines.
- Only visible encroachments located.
- No identification found on property corners unless otherwise shown.
- Dimensions shown are Plat and Measured unless otherwise shown.
- Fence ownership not determined.
- This survey depicted here forms a closed geometric figure.
- No underground improvements or visible installations have been located other than shown.
- This survey is prepared for the exclusive use and benefit of the parties listed hereon liability to third parties may not be transferred or assigned.
- This drawing may not be scaled due to electronic transfer.
- This survey does not reflect or determine ownership.
- Fence corners and building corners are witness monuments to obstructed corners, dimensions are as shown.
- Subject to any dedication, limitations, restrictions, reservations, and/or easement of record no examination of Title made by Surveyor.
- This Survey is not an ALTA/ACSM Land Title Survey.
- This Survey was prepared without the benefit of a commitment for Title Insurance.
- The flood data provided is for informational purposes only. The Surveyor makes no guarantees as to the accuracy of the Information provided. The local F.E.M.A. Agency should be contacted for verification.
- Boundary bases on existing monumentation and or occupation as found in field, other matters not known to this surveyor at time of survey may affect Boundary lines shown hereon.
- This Survey is intended for mortgage or refinance purposes only. Exclusively for this used by those to whom it is certified. This Survey is not to be used for Construction, permitting, design, or any other use without the written consent of LEBRON GROUP SURVEYING AND MAPPING CORP. PHOTOCOPYING FORBIDDEN. COPYRIGHTED MATERIAL.
- (P*) & (P**) = DENOTES a dimension or data shown on a neighboring Platted Subdivision, Plat Book and Page as shown on Survey.

THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 5J-17, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.



CODE:1040JUNESTREET20230712 DATE: 03/30/2023
HECTOR LEBRON PSM #6634 JOSE R. NEGRON PSM#6850
Professional Surveyor and Mapper Professional Surveyor and Mapper
"NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED RAISED/ELECTRONIC SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER."

LEBRON GROUP
LAND SURVEYING AND MAPPING CORP.
* BOUNDARY * TOPOGRAPHY * CONSTRUCTION SUPPORT * GPS SERVICES
License Business #7615
2236 Winter Woods Blvd. S. 1000 Winter Park, Fl. 32792
Phone (407) 781-5329 Fax (407) 517-4393
Website WWW.LEBRONGROUP.COM

APP	DESCRIPTION	DATE	REV	BY	NO

ADDRESS: 1040 JUNE STREET,
KISSIMMEE FLORIDA 34741

DATE: 03/30/2023	
DRAWN: EJM	
CHECKED: JRN	
FIELD:	
JOB NO. 2023-0712	SHEET 1