



**MEETING AGENDA
SESSION OF THE HISTORIC PRESERVATION BOARD
CITY OF KISSIMMEE
CITY HALL, COMMISSION CHAMBERS
101 CHURCH STREET, KISSIMMEE, FLORIDA 34741-5054
MONDAY, NOVEMBER 14, 2022 AT 5:15 PM**

- 1. MEETING CALLED TO ORDER**
- 2. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE**
- 3. MINUTES**
 - 3.A July 21, 2021 Historic Preservation Board meeting minutes.
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
 - 5.A 721 Mabbette Street - Change of Use - Exterior property improvements
- 6. DISCUSSION**
- 7. HEAR CHAIRMAN AND BOARD MEMBERS**
- 8. ADJOURNMENT**

In accordance with Florida Statutes 286.105: Any person wishing to appeal any decision made by the Historic Preservation Board with respect to any matter considered at such meeting or hearing will need to ensure that verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

In accordance with Florida State 286.26, persons needing assistance to participate in any of these proceedings should contact the Office of the City Clerk, 101 Church Street, Kissimmee, Florida, (407) 518-2309.

ITEM 3.A

July 21, 2021 Historic Preservation Board meeting minutes.

Request

Requesting approval of the July 21, 2021 Historic Preservation Board meeting minutes.

Explanation

Approval of the July 21, 2021 Historic Preservation Board meeting minutes.

Recommendation

Approval of the July 21, 2021 Historic Preservation Board meeting minutes.

REQUESTED CITY COMMISSION ACTION:

Approve

Department: Development Services

Presenter:

Attachment(s):

1. July 21, 2021 HPB Minutes



**MINUTES OF THE HISTORIC PRESERVATION BOARD MEETING
HELD MONDAY, JULY 12, 2021, AT 5:15 PM IN THE CITY OF
KISSIMMEE, CITY HALL COMMISSION CHAMBERS LOCATED AT
101 CHURCH STREET, KISSIMMEE, FLORIDA**

1. MEETING CALLED TO ORDER

Members Present: Vice-Chairman Bill Dupre, Member Debra Rosado, Member Adriana Serrano, Member Maria Lebron

Members Absent: Member Scott Brooks

Staff Present: Senior Planner Ashley Cornelison, Administrative Assistant, Cathy Finneran.

Vice-Chairman Dupre called the meeting to order at 5:15 PM.

2. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

Board held a moment of silence for Member John Link who passed away recently

3. HISTORIC PRESERVATION BOARD MINUTES APPROVAL

**Member LeBron made a motion for approval of the minutes from the July 8, 2019 meeting.
Seconded by Member Serrano.**

Dupre	Aye	Lebron	Aye
Rosado	Aye	Serrano	Aye

Motion carried 4-0

4. OLD BUSINESS

No discussion

5. NEW BUSINESS

A. 507 MABBETTE STREET

Planner Cornelison explained that this request is for the Board to review the replacement of 26 windows for the property located at 507 Mabbette Street. A Major Certificate of Appropriateness approval is required since the replacement windows are not exactly the same as the original windows. It should be noted that the windows were installed without a permit; therefore, there is an active Code Enforcement case on this property.

All of the proposed windows are ten-inches or less than the original window size with 12 of the 26 windows having less than a six-inch difference from the original window size. The style of the windows is also consistent with the style on other frame vernacular structures in the immediate vicinity. Therefore, Staff is recommending approval of this request.

Member Rosado questioned if there were any prior history of replacing the windows.

Planner Cornelison stated that she had no prior knowledge of improvements done on this property or the issuance of any certificate of appropriateness.

Member Serrano mentioned that the style of this structure is similar with the surrounding houses.

Vice-Chairman Dupre questioned if the contractor was going lift the sill up to match the top of the frame. Planner Cornelison stated that it appears so and that they will fill the underneath portion.

In response to Vice-Chairman Dupre's concern with the patio, Planner Cornelison stated that the patio is currently screened and will remain as such. Planner Cornelison added that the only previous replacement to this property is the front door.

Member Serrano felt that the windows are needed due to the deterioration of the original windows. There seems to be a shortage of materials and windows, which would make it difficult to find the exact same size as the original windows. Member Serrano further stated that the replacement windows are consistent with the neighboring properties.

Member Rosado concurred that the replacement windows are an improvement to the building.

Member Serrano made a motion for approval of this request. Seconded by Member LeBron.

Dupre	Aye	Lebron	Aye
Rosado	Aye	Serrano	Aye

Motion carried 4-0

6. DISCUSSION

Planner Cornelison discussed the need to meet at least quarterly to keep in compliance with the State requirements. An inquiry to the City's legal department will be conducted on the possibility of holding workshops virtually.

Since the Board has not met in a while and there are two new Board members, a refresher course to review public hearing requirements and Roberts Rules of Order was suggested.

Planner Cornelison stated that she will provide Roberts Rules of Order to the Board.

7. HEAR CHAIRMAN AND BOARD MEMBERS

The Commission did not reappoint the previous Chairman of this Board; therefore, a new Chairman shall be elected.

Member Serrano made a motion for Vice-Chairman Dupre for Chairman. Motion seconded by Member LeBron.

Member LeBron made a motion for Member Serrano for Vice-Chairman. Motion seconded by Member Rosado.

Dupre	Aye	LeBron	Aye
Rosado	Aye	Serrano	Aye

Motion carried 4-0

8. ADJOURNMENT

There being no further business, Chairman Dupre made a motion to adjourn the meeting at 5:35 p.m.
Seconded by Member LeBron.

Dupre	Aye	LeBron	Aye
Rosado	Aye	Serrano	Aye

Motion carried 4-0

Chairman e

Senior Planner Ashley Cornelison

IN ACCORDANCE WITH FLORIDA STATUTE 286.105: ANY PERSON WISHING TO APPEAL ANY DECISION MADE BY THE HISTORIC PRESERVATION BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT SUCH MEETING OR HEARING WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR SUCH PURPOSES MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS MADE. IN ACCORDANCE WITH FLORIDA STATUTE 286.26, PERSONS NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT THE OFFICE OF THE CITY CLERK 407-847-2821 (ext-2309) PRIOR TO THE MEETING

ITEM 5.A

721 Mabbette Street - Change of Use - Exterior property improvements

Request

Requesting approval of exterior improvements to the property at 721 Mabbette Street.

Explanation

The structure at 721 Mabbette Street is a 1,303-square foot bungalow-style residence built in 1926. The applicant is requesting to change the use of the structure from residential to office, requiring a conditional use per the Land Development Code. The applicant is proposing a minor amendment to the exterior of the structure: removal of a portion of the railing on the porch to provide an accessible entry per the American's with Disabilities Act (ADA). These improvements include landscaping, the addition of six parking spaces, and adding an accessible ramp per ADA.

If the Historic Preservation Board approves the proposed improvements, this request will still need to be approved by the Development Review Committee (DRC), Planning Advisory Board (PAB), and go through construction plan review.

Staff believes the impact of these improvements are minimal and recommend approval subject to the following conditions:

1. Remove the ramp that connects to the sidewalk on Mabbette Street. Like other residential conversions in the area, the ramp should connect to the parking area and have a minimal impact to the integrity of the structure. The ramp should only connect to the parking area and shall not extend in front of the front facade.
2. Slats for the ramp shall match the style of other similar style improvements within the district and be consistent with slat styles appropriate for the bungalow style. Samples have been included in the backup.

Recommendation

Recommending that the Historic Preservation Board approve the proposed improvements with the conditions outlined in the report.

REQUESTED CITY COMMISSION ACTION:

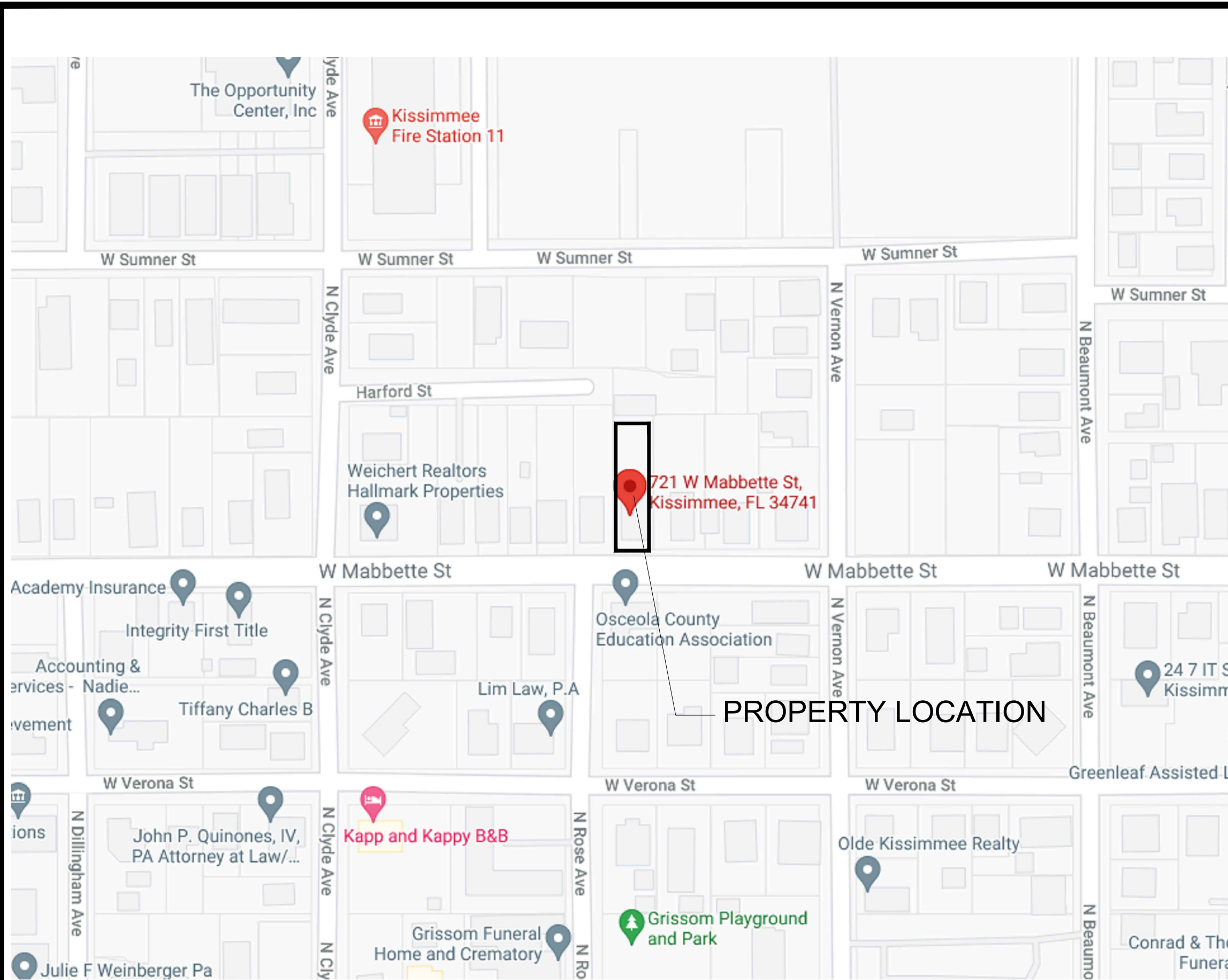
Approve

Department: Development Services

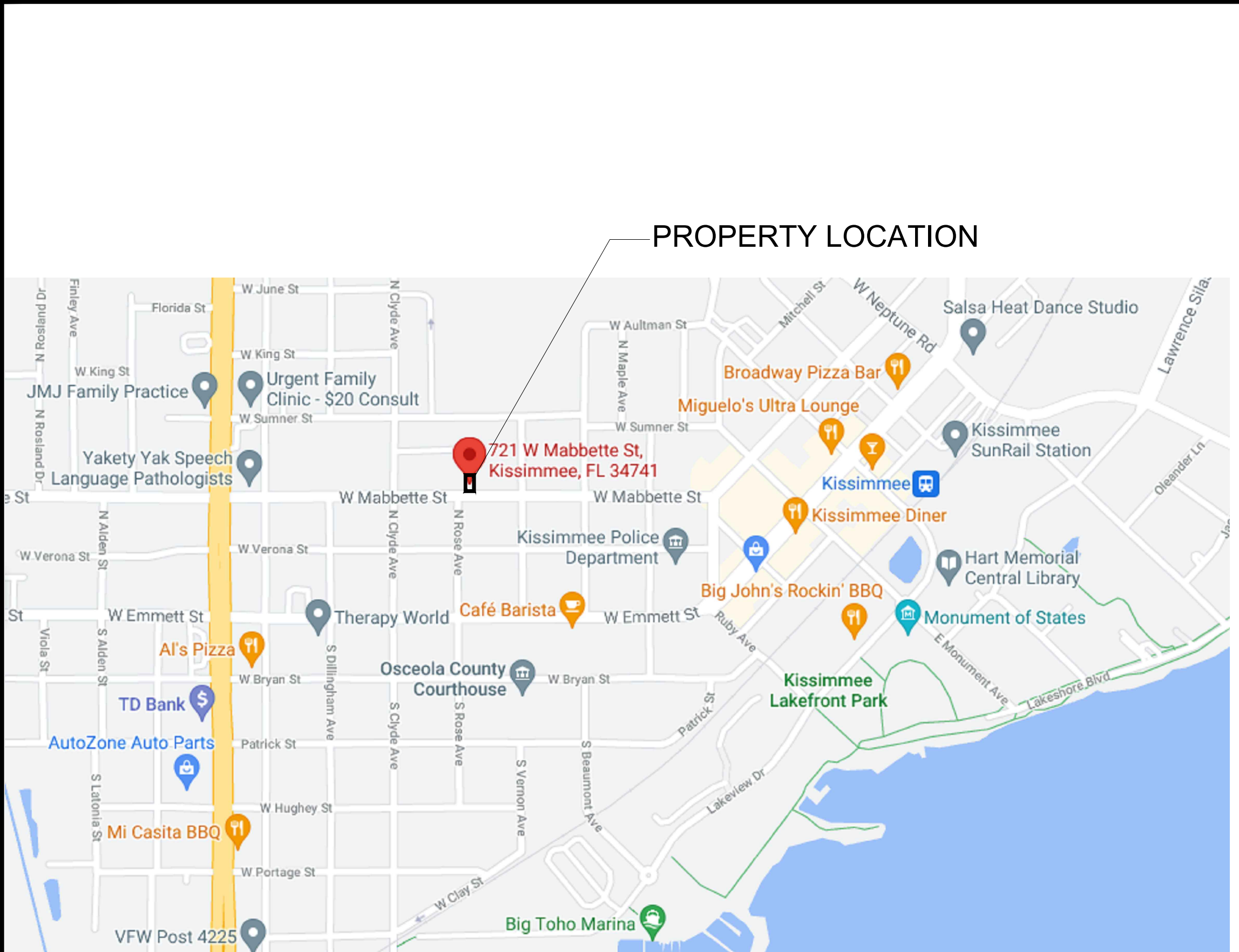
Presenter:

Attachment(s):

1. Development Plans
2. Front Elevation
3. 721 Mabbette Photos
4. Surrounding ADA Ramps
5. CoA Application



LOCATION MAP



VICINITY MAP

721 Mabbette St., Kissimmee, Fl. 34741

Project: New Office Space
Owner: Fernando Homs PA
PHASING: THIS PROJECT WILL ONLY HAVE ONE PHASE

STRUCTURAL DESIGN CRITERIA:

EXPOSURE CATEGORY:	B	FLOOR:
BASIC WIND SPEED:	140	LIVE LOAD- 40 P.S.F.
INTERNAL PRESSURE COEFFICIENTS:		DEAD LOAD- 20 P.S.F.
WIND IMPORTANCE FACTOR:	1	SOIL BEARING PRESSURE = 2,000. P.S.F. MIN.
BUILDING, ENCLOSED - +/- 0.18		
ROOF DESIGN WIND PRESSURE:	30 P.S.F.	ROOF & WIND LOADS
FBC, SECTION 1604.6		ROOF LIVE LOAD- 30 P.S.F.
ROOF LOADS:		ROOF DEAD LOAD- SHINGLE: 20 P.S.F.
TOP CHORD LIVE LOAD:	20.0	TILE: 40 P.S.F.
TOP CHORD DEAD LIVE LOAD:	7.0/15.0	
BOTTOM CHORD DEAD LIVE LOAD:	10.0	WIND IMPORTANCE FACTOR- 1.00
ROOF LIVE LOAD EQUALS WIND LOADS, FBC 1604.6		BASIC WIND SPEED- 140 M.P.H
ROOF DEAD LOAD EQUALS WEIGHTS OF MATERIALS		WIND IMPORTANCE FACTOR- 1.00
AND CONSTRUCTION.FBC TABLE A1 SECT. 4101.		WIND EXPOSURE- B
FLOOR LOADS:		APPLICABLE INTERNAL PRESSURE
FLOOR LIVE LOAD EQUALS LOAD PRODUCED BY		COEFFICIENT- + INCREASE + .18
RESIDENTIAL OCCUPANCY, FBC TABLE 1604.1		NEGATIVE INCREASE .4
FLOOR DEAD LOAD EQUALS WEIGHTS OF MATERIALS		DESIGN PARAMETERS
AND CONSTRUCTION, FBC TABLE A1 SECT. A101.		2- STORY MAX. HGT. - 35'-0" = 26.8 P.S.F. @ 140 M.P.H.
WINDOW DESIGN WIND PRESSURE:		
A. POSITIVE PRESSURE OF 22 P.S.F.		
B. NEGATIVE PRESSURE OF 30 P.S.F.		
DOOR DESIGN WIND PRESSURE:		
SLIDING GLASS DOORS: ALL SIZES		
A. POSITIVE PRESSURE OF 21 P.S.F.		
B. NEGATIVE PRESSURE OF 28 P.S.F.		
ENTRY DOORS: ALL CONFIGURATIONS		
A. POSITIVE PRESSURE OF 20 P.S.F.		
B. NEGATIVE PRESSURE OF 25 P.S.F.		
GARAGE DOORS: ALL GARAGE DOORS		
A. POSITIVE PRESSURE OF 20 P.S.F.		
B. NEGATIVE PRESSURE OF 24.5 P.S.F.		

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Sheet #5 A-6	PROPOSED FLOOR PLAN
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Sheet #5 A-8	RAMP DETAILS
Sheet #6 E-1	ELECTRICAL PLAN
Sheet #7 M-1	MECHANICAL PLAN

CODE DATA:

THIS PROJECT HAS BEEN DESIGNED TO MEET ALL APPLICABLE REQUIREMENTS OF THE FOLLOWING CODES:

- * 2020 FLORIDA BUILDING CODE (7 TH EDITION)
- * 2020 FLORIDA MECHANICAL CODE
- * 2020 FLORIDA PLUMBING CODE
- * 2020 FLORIDA FIRE PREVENTION CODE (7 TH EDITION)
- * 2020 FLORIDA GAS CODE
- * 2017 NATIONAL ELECTRICAL CODE
- * NFPA 101 LIFE SAFETY CODE (2020) W/FLORIDA AMENDMENTS
- * NFPA 1 LIFE UNIFORM FIRE CODE (2020) W/ FLORIDA AMENDMENTS.

Carlos A. Moreno

State of Florida Professional Engineer
Lic. # 76540
1912 Partin Terrace Rd.,
Kissimme, Florida 34744

Property ID:
2125291690000v0100

SCOPE OF WORK:
Existing Residence to be converted in new office space. All work to comply with building codes and owner requirements.

PROJECT INFORMATION:

Lot Information:
Land Use: Commercial
Lot Size: 9,975 Sf.

Propose Building Information:
Building Area:
One Story Building: 1,303 sf.

Building Use: Business - Group B (Office) FBC 304.1
Construction Type: Type VB
Building Height: 40' Max.

DIGITAL STAMP:



This item has been electronically signed and sealed by Carlos A. Moreno-Jusino, PE using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed
by Carlos
Moreno
Date: 2022.09.15
20:52:17 -04'00'

DRC-21-00055

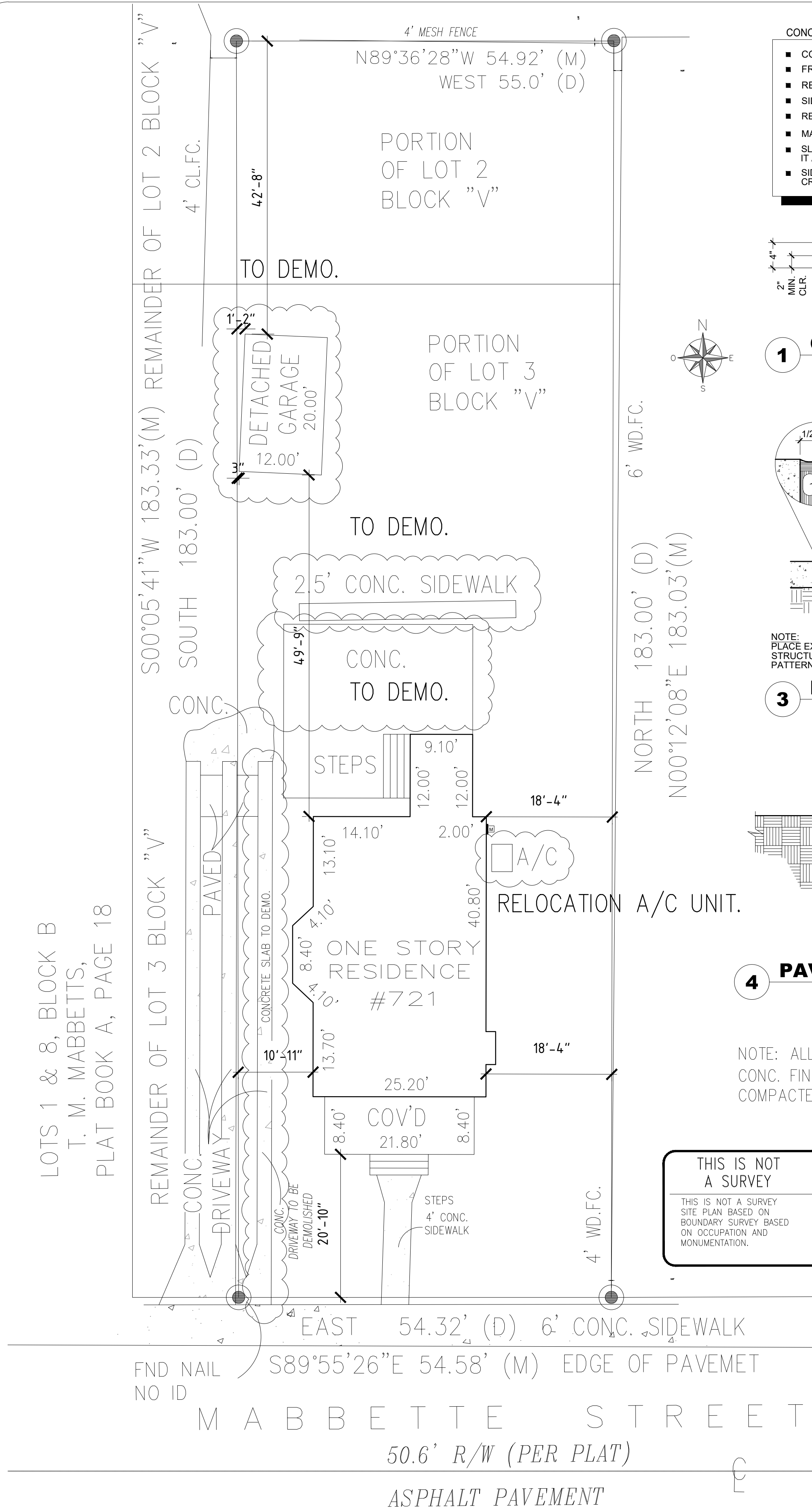
Interior Alteration
New Office Space
Owner: Fernando Homs P.A.
Location: 721 Mabbette St., Kissimmee, Fl. 34741
Parcel ID#: 2125291690000v0100

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Lic. # 76540
1912 Partin Terrace Rd., Kissimme, Florida 34744

DATE	DESCRIPTION	APP

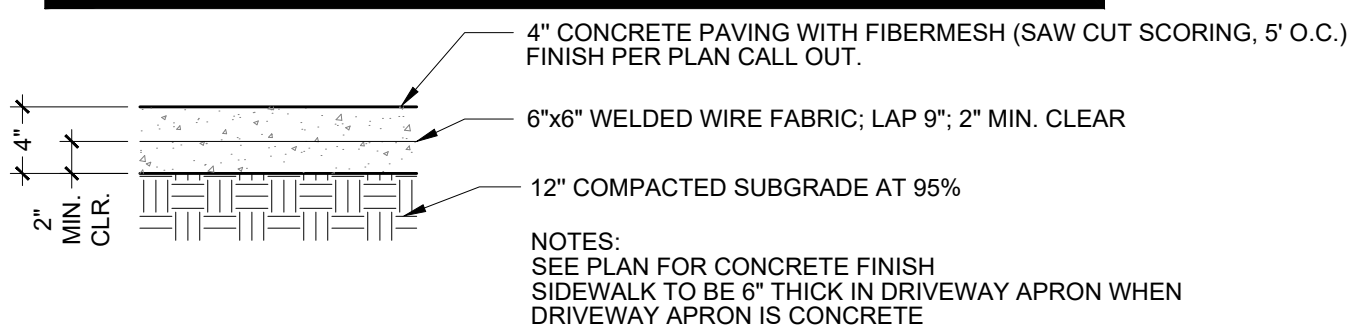
3VD CONSTRUCTIONS LLC
DRAWINGS PLANS
juan@3vdconstructions.com
407-219-8252

DRAWN: ARKIT
CHECK: JV
DATE: 02-14-2022
CADD: mabbette
JOB No. SHEET
2022-0010
A-1

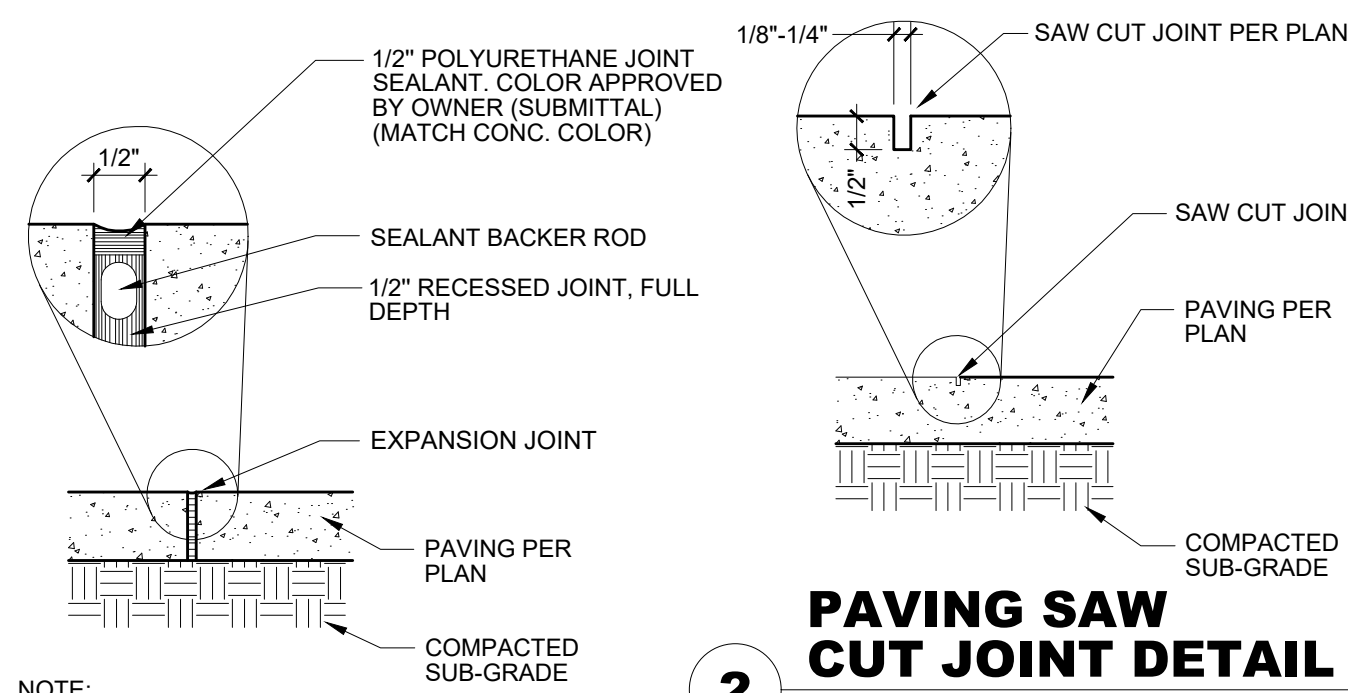


1
A-2
EXISTING SITE PLAN
SCALE 3/32" = 1'

- CONCRETE SIDEWALK & CONCRETE DRIVEWAY NOTES / SPECS
- CONCRETE STRENGTH TO BE 3000 PSI @ 28 DAYS
 - FRICTION COEFFICIENT .05 MIN.
 - REFER TO SAW CUT JT. & EXP. JT. DETAIL
 - SIDEWALK CROSS SLOPE OR CROWN @ 2% FOR DRAIN
 - REFER TO SITE PLAN FOR DRIVEWAY SLOPES
 - MAXIMUM RUNNING SLOPE OF SIDEWALK NOT TO EXCEED 5%
 - SLOPE SIDEWALK @ CROSSWALK TO MEET FLUSH WITH MIAMI CURB (WHERE IT APPLIES)
 - SIDEWALK TO BE NO CLOSER THAN 3'-6" FROM BACK OF CURB EXCEPT AT CROSSWALKS (WHERE IT APPLIES)

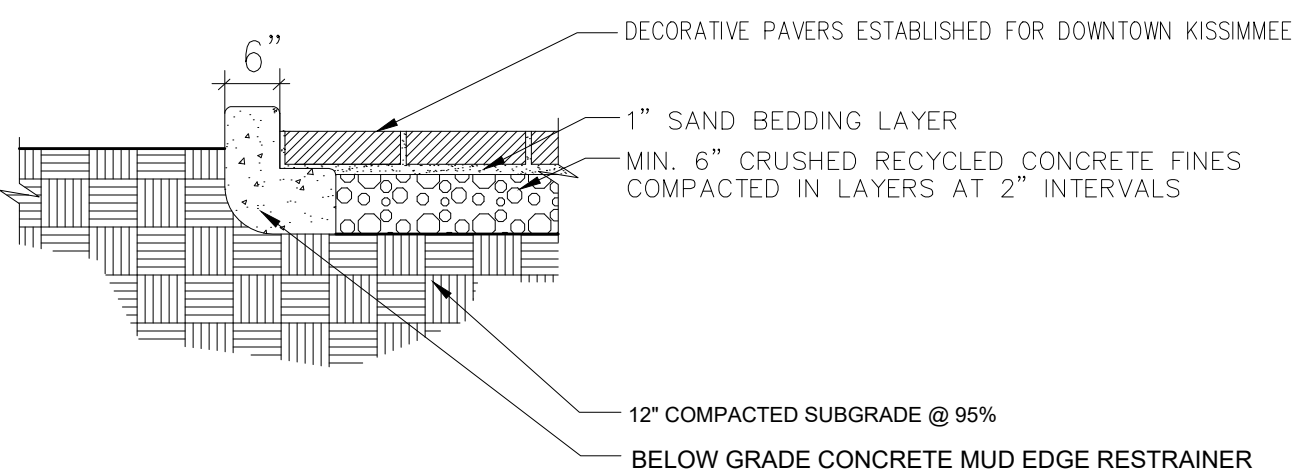


1
CONCRETE SIDEWALK / SLAB SECTION
N.T.S.



2
PAVING SAW CUT JOINT DETAIL
N.T.S.

3
PAVING EXP. JOINT DETAIL
N.T.S.



4
PAVER SLAB DETAIL
N.T.S.

NOTE: ALL PAVERS TO HAVE COMPACTED 6" MIN. CRUSHED CONC. FINES 1" SAND LEVELLING ON TOP OF 95% COMPACTED BASE, SEAL ALL PAVERS.

THIS IS NOT
A SURVEY

THIS IS NOT A SURVEY
SITE PLAN BASED ON
BOUNDARY SURVEY BASED
ON OCCUPATION AND
MONUMENTATION.

Site Plan Notes

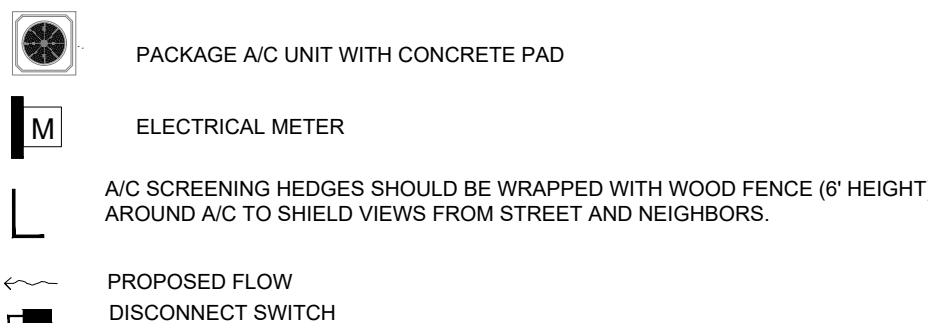
This is not a survey. The designer assumes no responsibility for its accuracy. The Owner and Contractor are totally responsible for placing the building on the property.

The designer assumes no responsibility for specific design or location. Specific if shown, on plan is per builder or owner requirements. Septic systems are to be designed and located per Dept. of health requirements or as per governing codes.

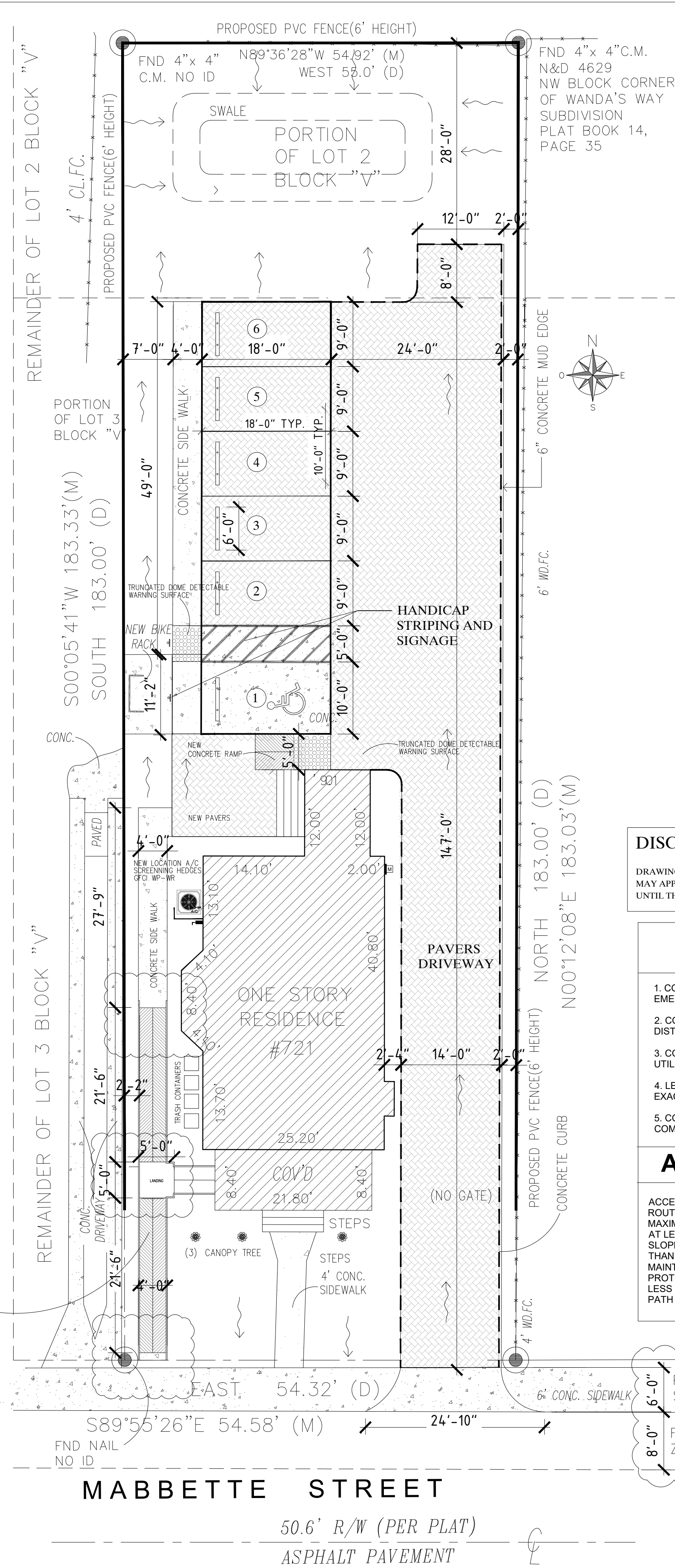
NOTES:

ADVISORY: FLOOR OR GROUND SURFACE, THE FLOOR OR GROUND SURFACE OF THE RAUPY RUN OR LANDING SHALL BE FINISHED WITH A RAMP GRATE. THE RAMP GRATE SHALL BE FINISHED WITH A RAMP GRATE. THE RAMP GRATE SHALL BE FINISHED WITH A RAMP GRATE. THE RAMP GRATE SHALL BE FINISHED WITH A RAMP GRATE.

ADVISORY: TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR WALKING, AND RAMP SURFACES.



NOTE: LDC 14-5-9.8.10 STATES ALL USES WITHIN THE DOWNTOWN CRA SHALL USE DECORATIVE PAVERS AND/OR STAMPED/DECORATIVE CONCRETE INSTEAD OF ASPHALT OR CONCRETE FOR THE EXTENT OF THE ENTIRE PARKING LOT, INCLUDING DRIVE AISLES.



2
A-2
PROPOSED SITE PLAN
SCALE 3/32" = 1'

PARKING CALCULATIONS: (TABLE 4.7.8 - OFFICES & PROFESSIONAL SERVICES LAND USE: REQUIRED PARKING 1 SPACE PER 300 SF. GFA.	
TOTAL EXISTING BUILDING AREA: (PER PROPERTY APPRAISAL)	1,303 SF.
1,303 SF. AREA / 300 SF. PER SPACE: 5 PARKING SPACE INCLUDED HANDICAP	
REGULAR PARKING SPACE:	PROVIDED 5 PARKING
HANDICAP PARKING SPACE:	1 PARKING
TOTAL PARKING SPACES:	6 PARKING PROVIDED

GENERAL NOTES:

GENERAL:
PROJECT SHALL COMPLY WITH THE COMMERCIAL DESIGN STANDARDS
OF CITY OF KISSIMMEE LAND DEVELOPMENT CODE.

LANDSCAPING:
ALL LANDSCAPING SHALL MEET OR EXCEED THE REQUIREMENTS
OF CITY OF KISSIMMEE LAND DEVELOPMENT CODE.
SEE LANDSCAPING PLANS FOR MORE INFORMATION.

EASEMENTS:
ALL EASEMENTS SHOWN AS PROPOSED WILL BE RECORDED PRIOR TO
CERTIFICATE OF OCCUPANCY.

STORMWATER MANAGEMENT:
THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO MEET
CITY OF KISSIMMEE CODE AND THE LOCAL WATER MANAGEMENT DISTRICT.

UTILITY SERVICE:
CITY OF KISSIMMEE UTILITIES SHALL NOT OWN, OPERATE OR MAINTAIN THE
ON-SITE WATER, WASTEWATER OR RECLAIMED WATER SYSTEM(S).

UTILITY PROVIDERS:
WATER CITY OF KISSIMMEE
WATER REUSE CITY OF KISSIMMEE
WASTE WATER CITY OF KISSIMMEE
ELECTRIC PROGRESS ENERGY
WASTE MANAGEMENT

IMPERVIOUS SURFACE RATIO SCHEDULE:

TOTAL HOUSE AREA	1,303 SF
DRIVE WAY, WALKWAY, PARKING	3,794 SF
A/C PAD	9 SF
TOTAL	5,106 SF

TOTAL IMPERVIOUS AREA (TIA)	9,975 SF
TIA: 5,106 SF / TOTAL LAND AREA 9,975 SF =	0.5119
TOTAL SURFACE RATIO (%) =	51%

DISCREPANCIES IN DRAWINGS

DRAWINGS AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES WHICH
MAY APPEAR. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY
UNTIL THE ENGINEER HAS CORRECTED THE DISCREPANCY.

GENERAL NOTES

- CONTRACTOR TO ORGANIZE AND STORE CONSTRUCTION ACTIVITIES OUT OF
EMERGENCY VEHICLE ACCESS AT ALL TIMES.
- CONTRACTOR TO COORDINATE TEMPORARY FENCING AT ALL SITES WITH
DISTRICT.
- CONTRACTOR TO SURVEY ALL AREAS OF WORK TO LOCATE EXISTING
UTILITIES & PROTECT ACCORDINGLY.
- LEGEND SYMBOLS ARE FOR REFERENCE ONLY AND DO NOT REPRESENT
EXACT SHAPE OR DIMENSION OF EXISTING OR NEW CONDITIONS.
- CONTRACTOR TO VERIFY ALL BARRIERS HAVE BEEN REMOVED AND
COMPLIANCE WITH CBC 11B.

ACCESSIBLE PATH OF TRAVEL

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLANS IS A BARRIER FREE ACCESS
ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2
MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND
AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS
SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS
THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE
MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND
PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND
LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE
PATH OF TRAVEL.



Digitally signed
by Carlos
Moreno
Date:
2022.09.15
20:52:45 -04'00'

DRC-21-00055

Carlos A. Moreno
State of Florida Professional Engineer
Lic. # 76540

Interior Alteration
New Office Space
Owner: Fernando Hons PA
Location: 721 Mabbette St., Kissimmee, FL 34741
Parcel ID#: 212529169000v0100

3VD CONSTRUCTIONS LLC
DRAWINGS PLANS
juan@3vdconstructions.com
407-219-8252

DRAWN: ARKIT
CHECK: JV
DATE: 02-14-2022
CADD: mabbette
JOB No. SHEET
2022-0010 A-2



STORMWATER CALCULATIONS

STORMWATER CONTAINMENT VOLUME CALCULATIONS

LOT AREA 9975 SF
GROSS AREA CONSTRUCTION 1303 SF
IMPERVIOUS AREA 3803 SF
TOTAL IMPERVIOUS AREA 5106
PERVIOUS AREA 4869 SF

TREATMENT VOLUME = GREATER OF:

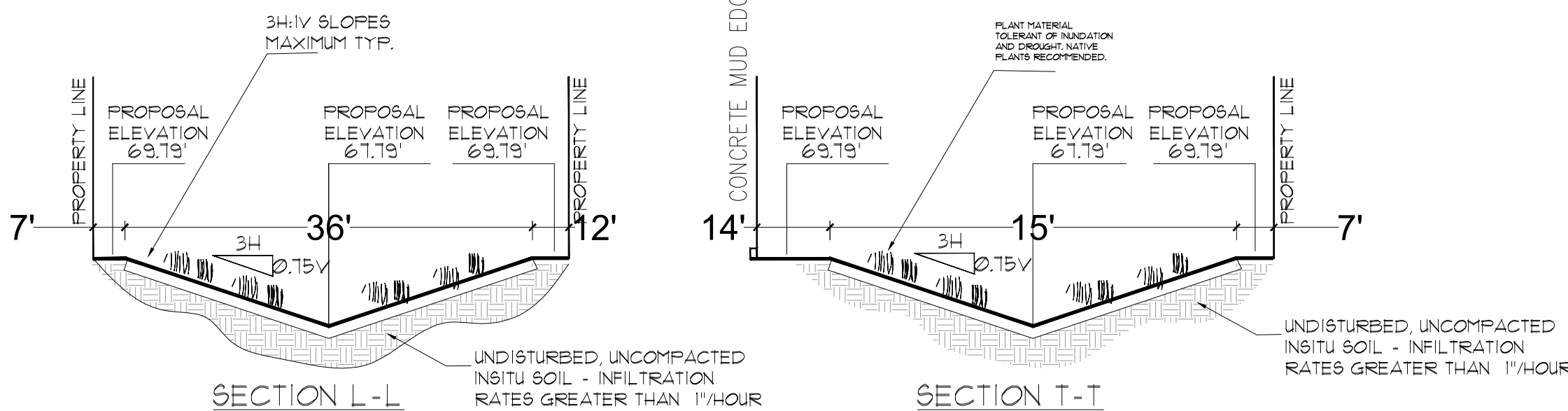
- 1/2" x DRAINAGE TOTAL AREA: 9975x0.5/12 = 415.63 CF
- 125" x ALLOWABLE IMPERVIOUS AREA: 125x5106/12 = 531.88 CF

STORMWATER CONTAINMENT VOLUME PROVIDED

SECTION SWALE 15'x2'-DEEP
LONG SWALE 36'
VOLUME: AREA x LONG 540 CF

THE ENVIRONMENT SWALE PROPOSED DESIGN DEMONSTRATE THAT THE STORMWATER RUNOFF FROM THE TOTAL IMPERVIOUS AREA IS CAPTURED THROUGH THE LID, ALLOWING THE RUNOFF TO INFILTRATE AND EVAPORATE BEFORE DISCHARGE ONTO THE PUBLIC ROW

ENVIRONMENT SWALE SECTIONS

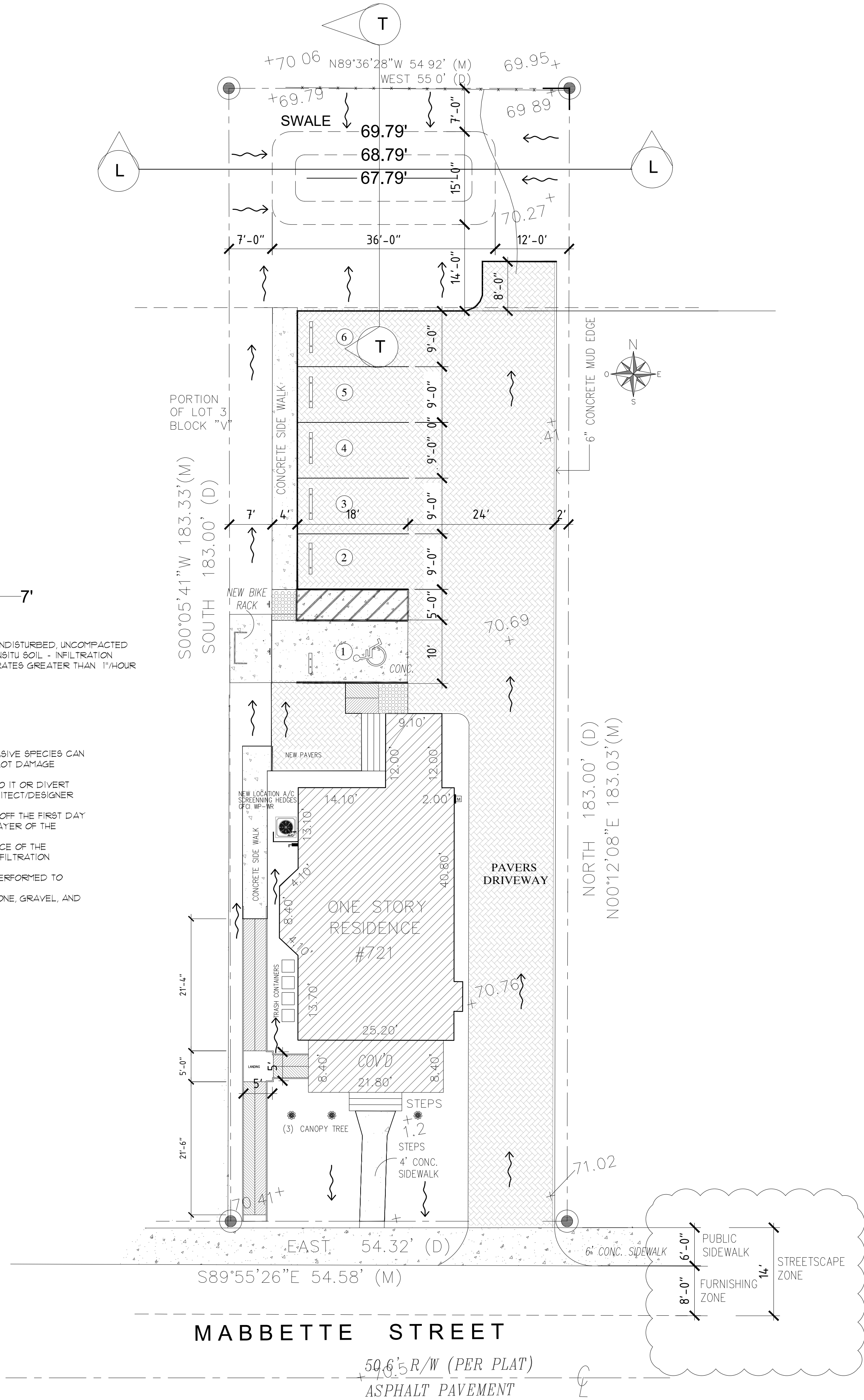


SWALE NOTES

1. PLANT WITH PLANTS PER LANDSCAPE ARCHITECT DUGS. NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN REPRODUCE DOWNSTREAM AND DAMAGE HYDROLOGY AND HABITAT IF NON-NATIVES ARE CHOSEN. BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM WATERWAYS.
2. BUILD AND VEGETATE SWALE AS EARLY AS POSSIBLE TO ESTABLISH PLANTING BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERT STORMWATER AROUND FACILITY, PREFERABLY. THIS PERIOD WOULD LAST A MINIMUM OF 3 MONTHS OR PER LANDSCAPE ARCHITECT/DESIGNER GUIDELINES.
3. INFILTRATION AREAS (THE AREA OF THE SWALE AS DEFINED BY THE TOP ELEVATION OF THE FACILITY) SHALL BE FENCED OFF THE FIRST DAY OF EARTH MOVING UNTILL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY AND STOCKPILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
4. DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL, HAND RAKE THE SURFACE TO A DEPTH OF 3' TO RESTORE INFILTRATION CAPACITY.
5. CALL THE ENGINEER 24 HOURS IN ADVANCE OF CONSTRUCTING THIS FACILITY SO CONSTRUCTION OBSERVATION MAY BE PERFORMED TO IDENTIFY VARIATIONS IN THE FIELD THAT MAY AFFECT DESIGN AND VERIFY PROPER CONSTRUCTION.
6. NO BUSHES OR TREES ARE ALLOWED WITHIN THESE AREAS. TURF, SOG, GRASS ARE PERMITTED ONLY. ALSO, NO MULCH, STONE, GRAVEL, AND ROCK BEDS CAN BE WITHIN PROPOSED SWALES AREAS. THIS REQUIREMENT EXCLUDES EXISTING TREES.

1 PROPOSED DRAINAGE PLAN

SCALE 3/32" = 1'



THIS IS NOT A SURVEY

THIS IS NOT A SURVEY
SITE PLAN BASED ON
BOUNDARY SURVEY BASED
ON OCCUPATION AND
MONUMENTATION.

Site Plan Notes

This is not a survey. The designer assumes no responsibility for its accuracy. The Owner and Contractor are totally responsible for placing the building on the property.

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DIGITAL STAMP:



This item has been electronically signed and sealed by Carlos A. Moreno-Juarez, PE using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed
by Carlos
Moreno
Date:
2022.09.15
20:52:59 -04'00'

DRC-21-00055

Interior Alteration
New Office Space

Owner: Fernando Homs PA
Location: 721 Mabbette St., Kissimmee, FL 34741
Parcel ID#: 2125291690000v0100

Carlos A. Moreno

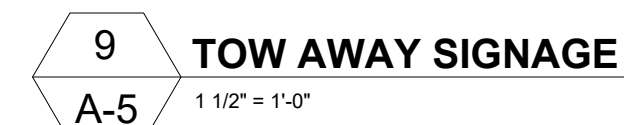
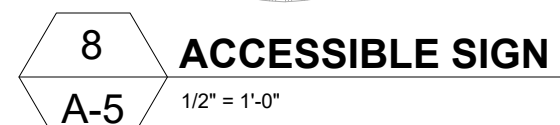
State of Florida Professional Engineer
Lic. # 76540

1912 Partin Terrace Rd., Kissimmee, Florida 34744

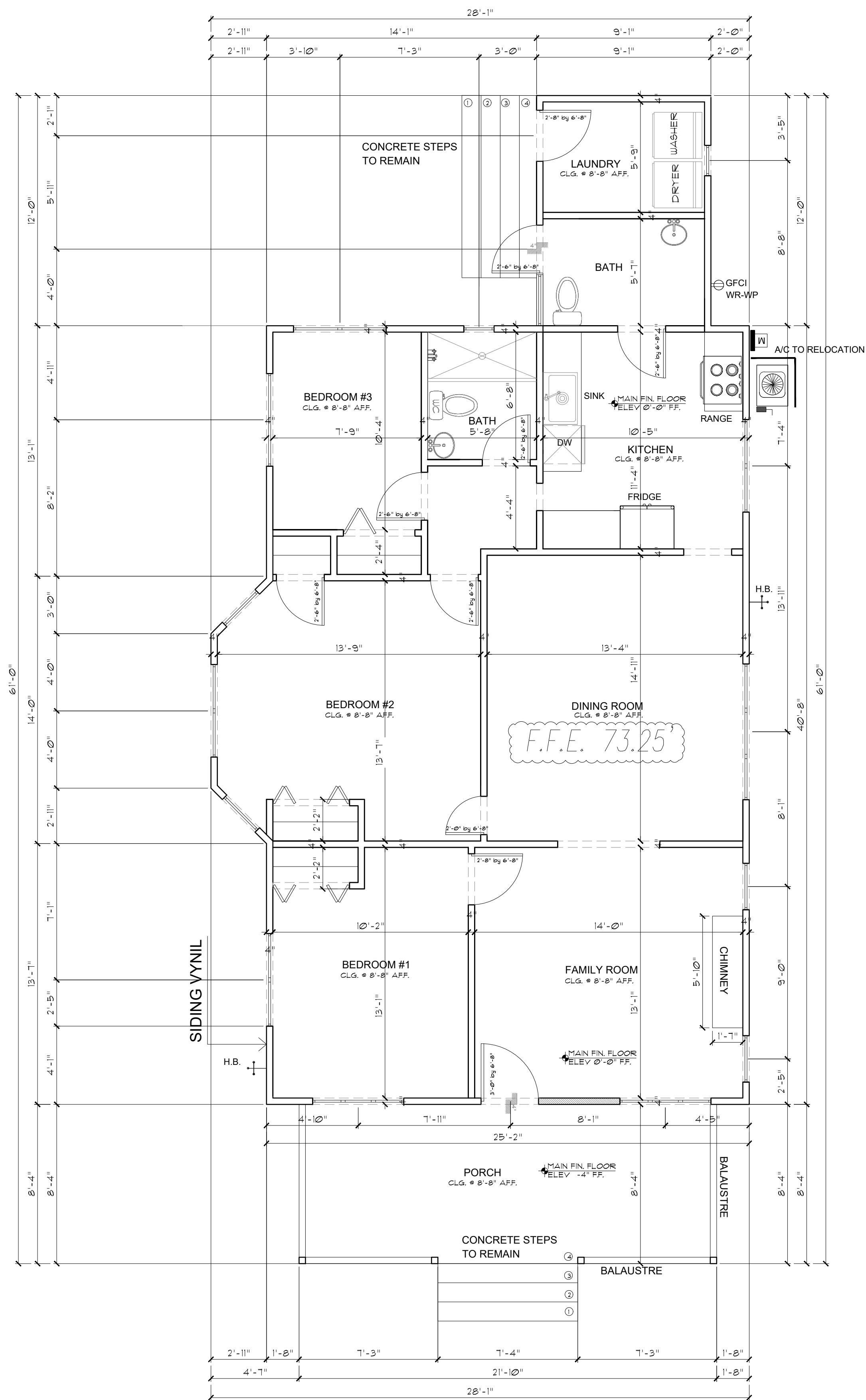
DATE	DESCRIPTION	APP

3VD CONSTRUCTIONS LLC
DRAWINGS PLANS
juan@3vdconstructions.com
407-219-8252

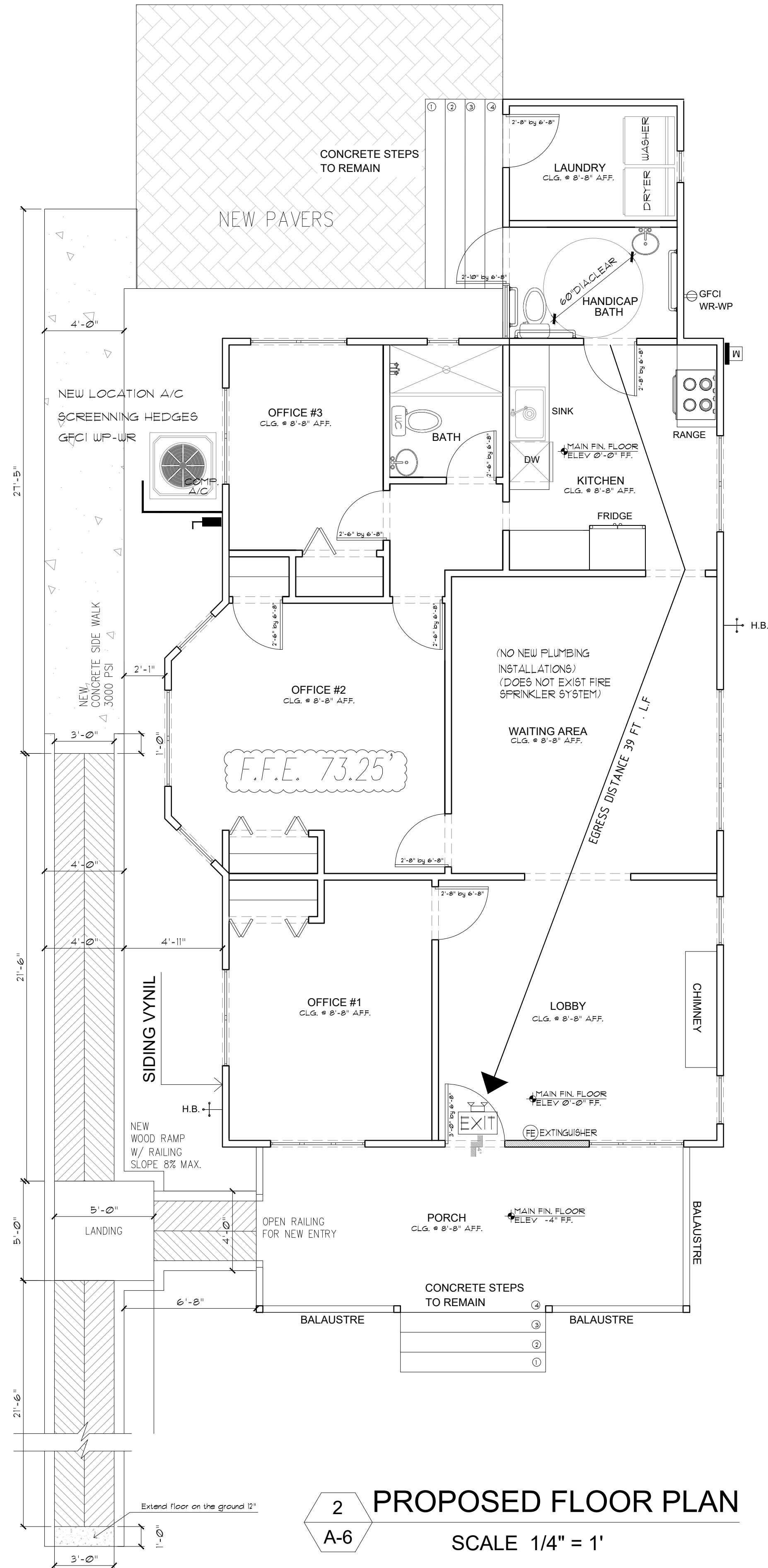
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CHECK: JV
DATE: 02-14-2022
CADD: mabbette
JOB No. SHEET
2022-0010 A-3



- DRC-21-00055



1 EXISTING FLOOR PLAN
A-6 SCALE 1/4" = 1'



2 PROPOSED FLOOR PLAN
A-6 SCALE 1/4" = 1'

SCOPE OF WORK:
Existing Residence to be converted in new office space. All work to comply with building codes and owner requirements.
New Parking area
New pavers in Driveway and Parking area
New pavers in Rear Area
New Handicap Ramp
Relocate A/C

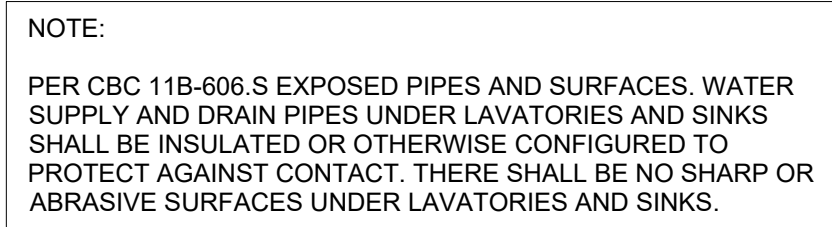
OCCUPANT LOAD CALCULATION		
USE	(\$/PERSON)	(# PERSON)
BUSINESS Collaboration rooms/spaces > 450 SF in area		
WAITING ROOM	15	13
BUSINESS USE	150	3
IN ACCORDANCE WITH NFPA 101		

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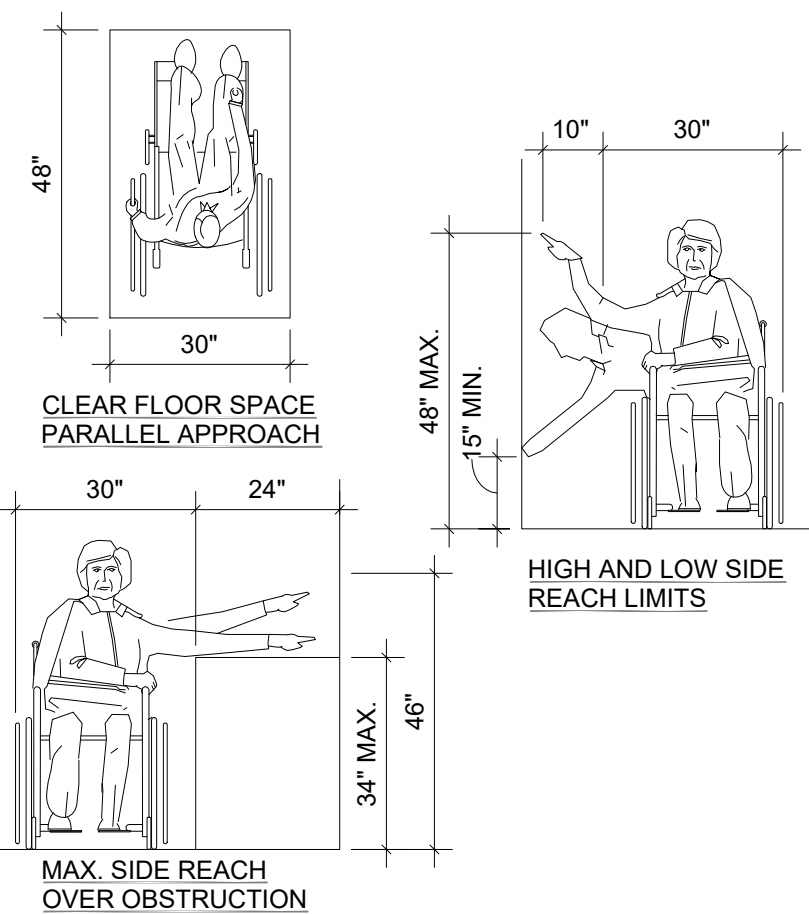
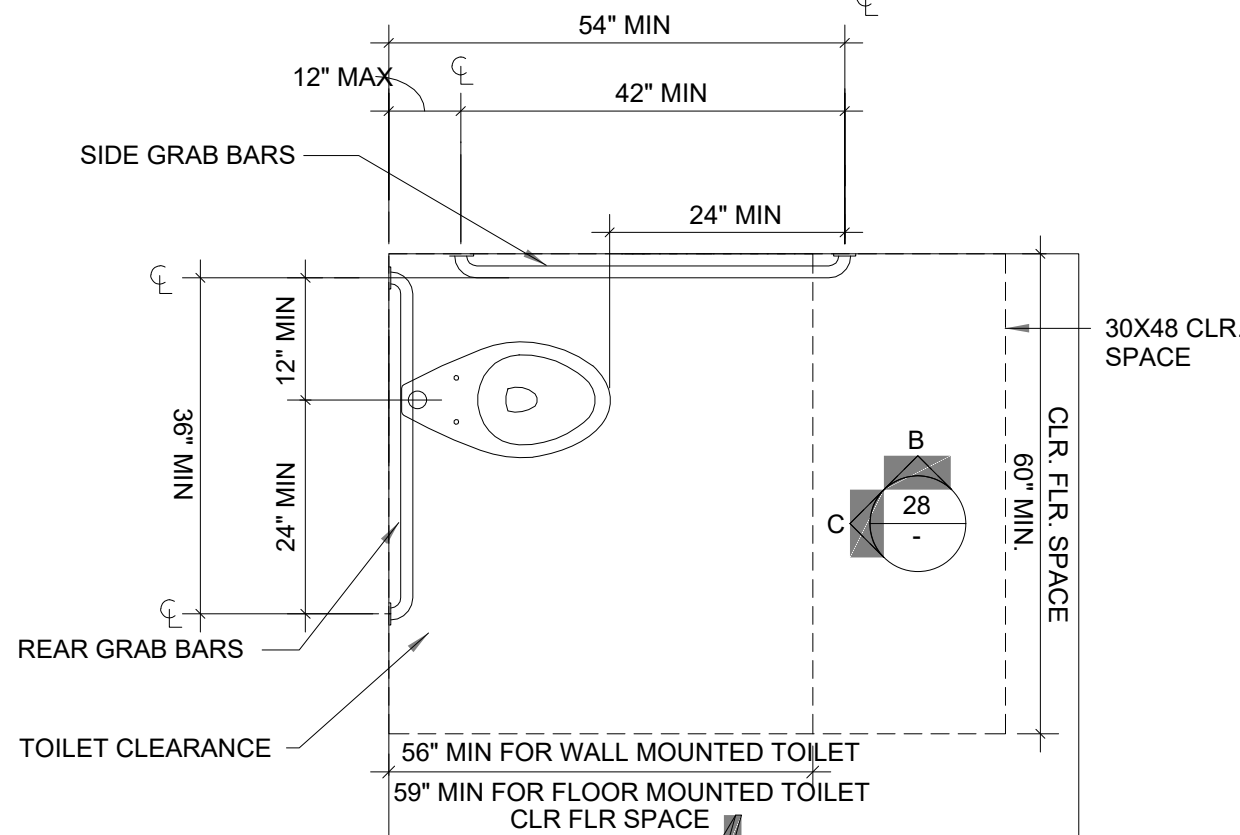


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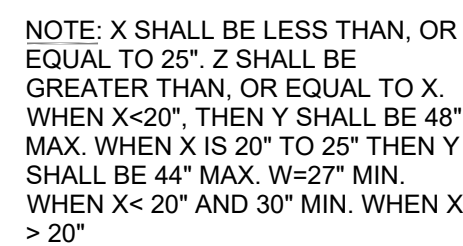
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1 COUNTERTOP W/ ACCESSIBLE SINK
A-7 SCALE NTS



SCALE NTS



SCALE NTS



DESCRIPTION	DIM.	ADULT (INCHES)	DETAIL REFERENCE
TOILET CENTERING FROM WALL	A	17.5	25 / -
TOILET SEAT HEIGHT/DIMENSIONS TO TOP OF SEAT	B	17-19	25 / -
GRAB BAR HEIGHT (TOP OF GRIPPING SURFACE)	C	33 - 36	25 / -
TOILET PAPER DISPENSER IN FRONT OF TOILET TO C	D	7 MIN. - 9 MAX	25 / -
TOILET PAPER DISPENSER HEIGHT TO OUTLET	E	19 MIN.	ABOVE
NAPKIN DISPOSAL IN FRONT OF TOILET	F	12 MAX.	ABOVE
DISPENSER HEIGHT	G	39 MAX.*	ABOVE
MIRROR HEIGHT ABOVE LAVATORY/ SINK (TO EDGE OF REFLECTIVE SURFACE)	G	39 MAX.*	ABOVE
MIRROR HEIGHT NOT ABOVE LAVATORY/ SINK (TO EDGE OF REFLECTIVE SURFACE)	-	34 MAX.	ABOVE
FULL HEIGHT MIRROR (TO EDGE OF REFLECTIVE SURFACE)	J	15" MIN.	ABOVE
LAVATORY/SINK TOP HEIGHT	K	34 MAX.	10 / -
LAVATORY/SINK KNEE CLEARANCE	L	27 MIN. **	10 / -
URINAL LIP HEIGHT	M	17 MAX.	30 / -
URINAL FLUSH HANDLE HEIGHT	N	44 MAX.	30 / -
PARTITION TOE CLEARANCE	-	9 MIN.	35 / -
DRINKING FOUNTAIN BUBBLER HEIGHT	-	36 MAX.	28 / -
DRINKING FOUNTAIN KNEE CLEARANCE	-	27 MIN.	28 / -
RAMP/STAIR HANDRAIL HEIGHT	-	34-38	N/A
FIRE EXTINGUISHER HEIGHT	G	39 MAX.*	N/A
COAT HOOK	P	47	N/A

* 39" MAX TO OPERABLE PART OF UNIT
** 29" AT FRONT APRON

SCALE NTS

NOTES

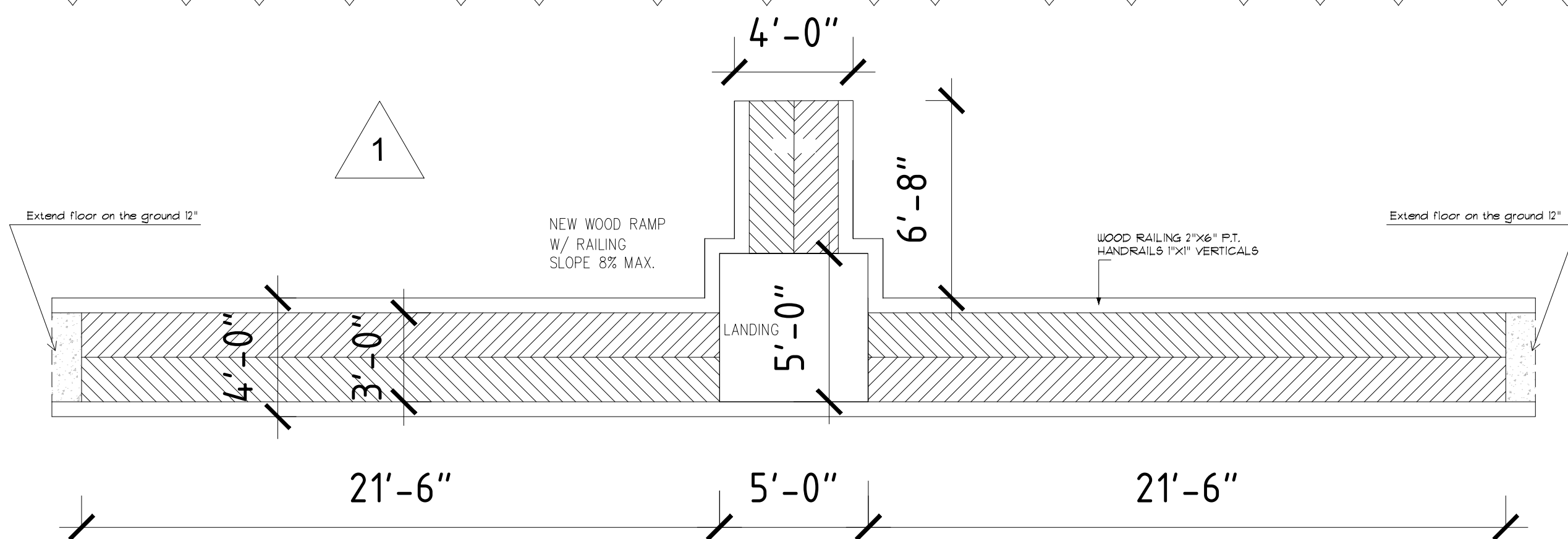
1. ALL FIXTURES AND ACCESSORIES ARE ACCESSIBLE UNLESS OTHERWISE NOTED OR DIMENSIONED.
2. SEE INTERIOR ELEVATIONS FOR TOILET ACCESSORY LOCATIONS, U.O.N.
3. ALL ACCESSORIES ARE TO BE ACCESSIBLE WITH A MAXIMUM REACH HEIGHT OF 3'-4" FROM FLOOR TO CENTER OF FUNCTIONAL POINT.
4. PROVIDE 2X WOOD BLOCKING (OVER 3 STUDS MIN) FOR ALL TOILET ACCESSORIES
5. DRAIN & H/W PIPING TO BE INSULATED AREA BENEATH SINK TO BE FREE OF ALL SHARP OR ABRASIVE SURFACES.



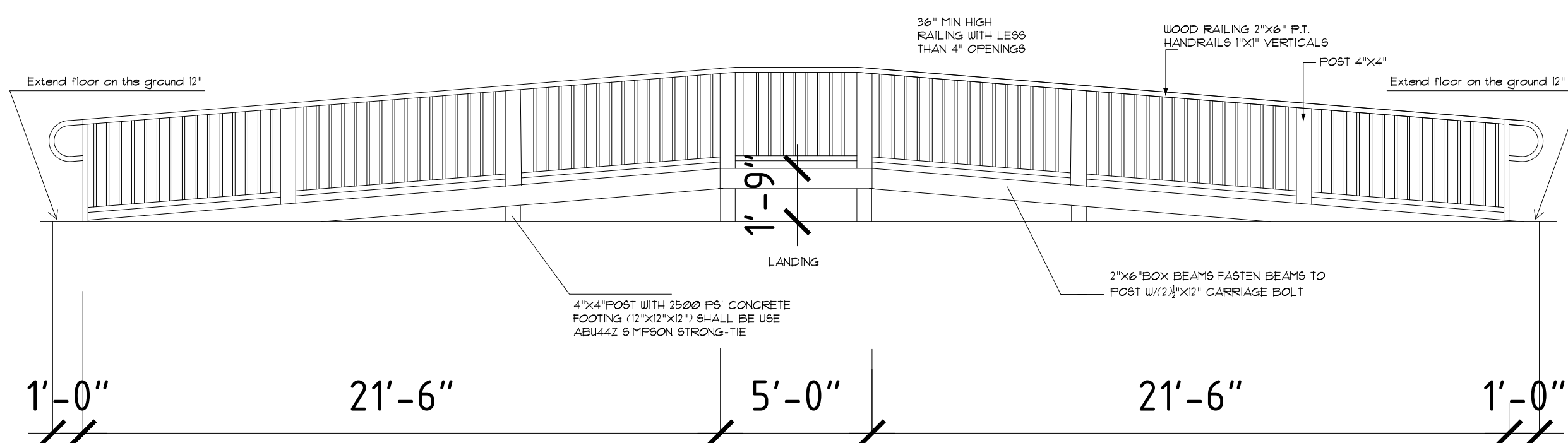
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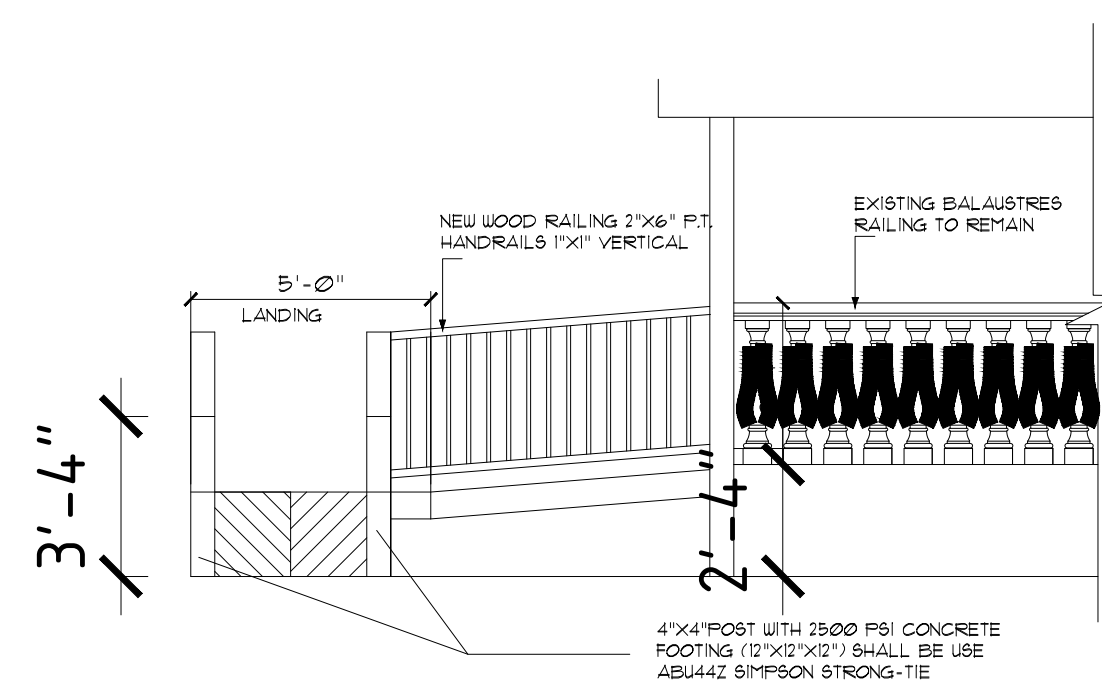
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4
A-8
FLOOR PLAN HANDICAP RAMP
SCALE 1/4" = 1'



4
A-8
SIDE ELEVATION
SCALE 1/4" = 1'



4
A-8
FRONT ELEVATION
SCALE 1/4" = 1'

Note: Wood posts, poles and columns supporting permanent structures shall be wood that is preservative treated (PT) unless exceptions apply. (FBC-Residential R317)
Note: Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground must be preservative-treated (PT) or wood that is naturally durable, unless separated from such slab by an impervious moisture barrier. (FBC-Residential R317).

MAXIMUM JOIST SPAN LENGTH¹

Joists without Overhangs				Joists with Overhangs			
Joist Spacing→	12"	16"	24"	Joist Spacing→	12"	16"	24"
Joist Size↓				Joist Size↓			
2x8	13'-8"	12'-5"	10'-2"	2x8	10'-6"	10'-6"	10'-2"
2x10	17'-5"	15'-10"	13'-1"	2x10	15'-2"	15'-2"	13'-1"
2x12	18'-0"	18'-0"	15'-5"	2x12	18'-0"	18'-0"	15'-5"

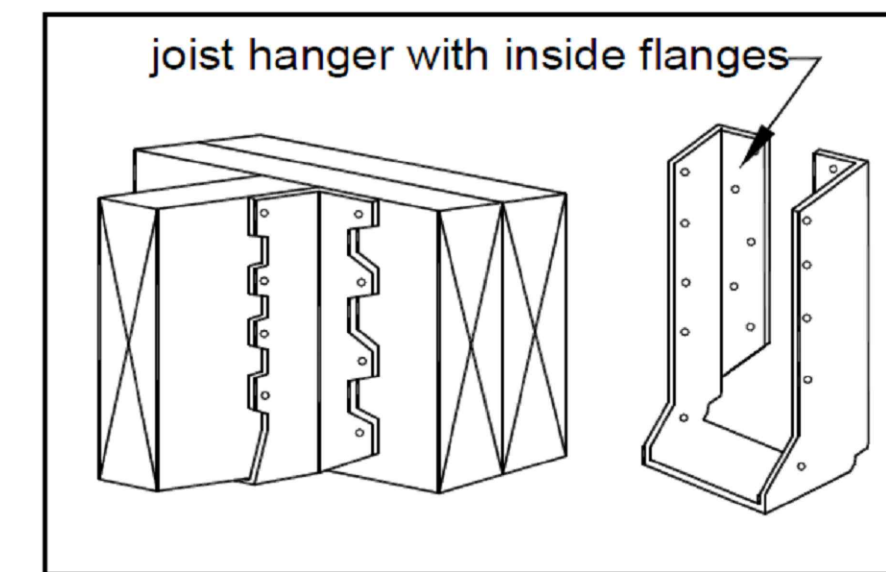
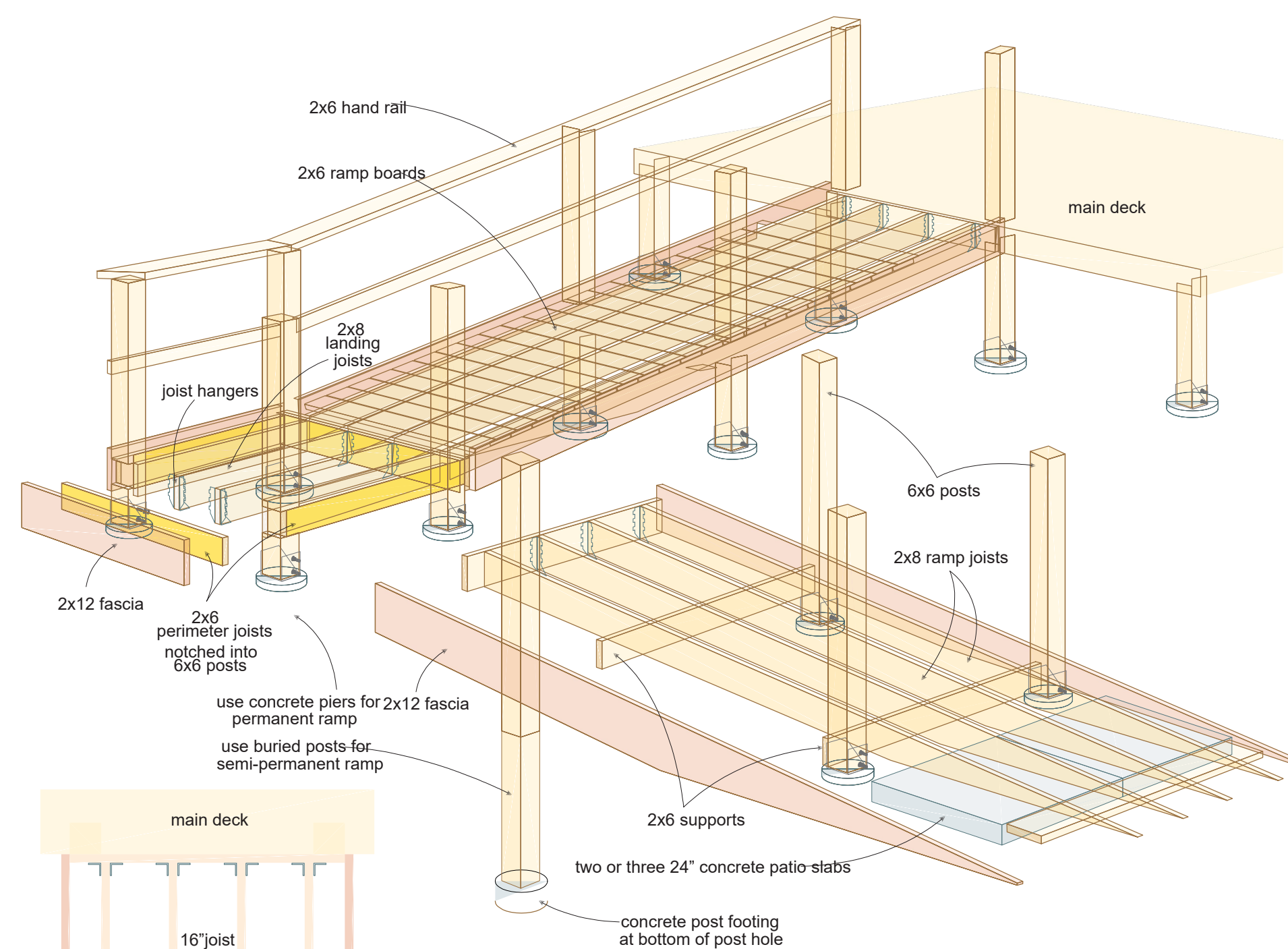
¹ Spans are based on 40 PSF live load, 10 PSF dead load, southern pine #2, normal loading duration, wet service conditions and deflections of $\Delta = l/360$ for main span and $l/180$ for overhang.

NOTES:

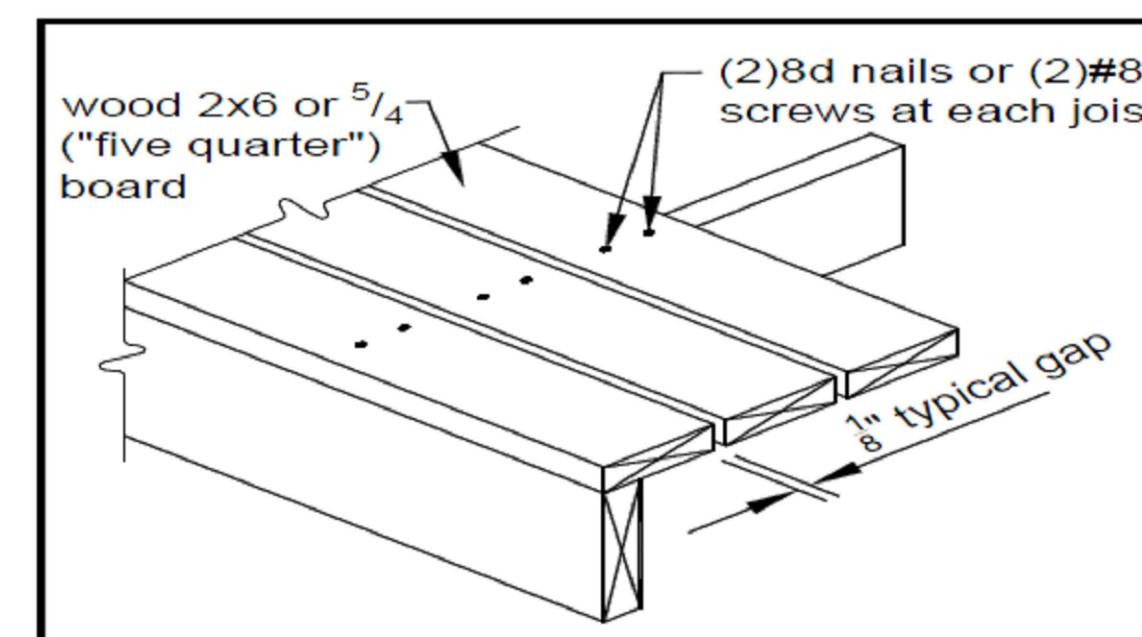
405.9 EXTENDED FLOOR OR GROUND SURFACE.
THE FLOOR OR GROUND SURFACE OF THE RAMP RUN OR LANDING SHALL EXTEND 12 INCHES MINIMUM BEYOND THE INSIDE FACE OF A HANDRAIL COMPLYING WITH 505.
ADVISORY: THE EXTENDED SURFACE PREVENTS WHEELCHAIR CASTERS AND CRUTCH TIPS FROM SLIPPING OFF THE RAMP SURFACE.

HANDRAIL:
ADVISORY 505.1 GENERAL HANDRAILS ARE REQUIRED ON RAMP RUNS WITH A RISE GREATER THAN 6 INCHES. HANDRAILS ARE NOT REQUIRED ON WALKING SURFACES WITH RUNNING SLOPES LESS THAN 1:20.

505.4 HEIGHT.
TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES.



TYPICAL JOIST HANGERS



TYPICAL DECKING

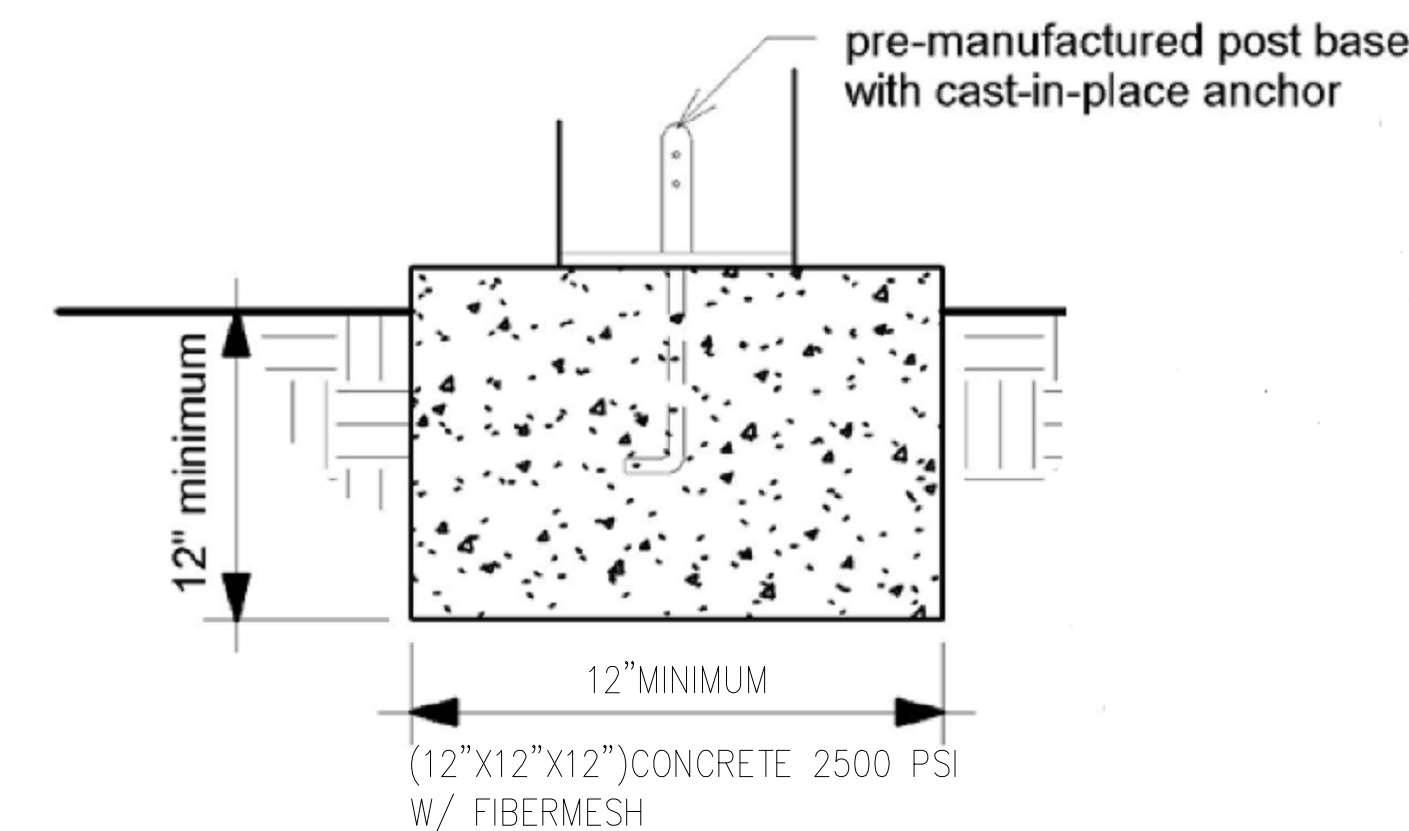
FOOTING SIZE

Beam Span	Joist Span	Size of Square	Size of Round	Minimum Thickness ¹
≤ 8'	≤ 10'	15"	17"	6"
	> 10' - 14'	18"	20"	8"
> 8' - 12'	> 14' - 18'	21"	23"	9"
	≤ 10'	19"	21"	8"
	> 10' - 14'	22"	24"	10"
> 12' - 17'	> 14' - 18'	26"	28"	11"
	≤ 10'	23"	25"	10"
	> 10' - 14'	28"	30"	12"

¹ The cast-in-place post base may require a footing thickness greater than the value in the table above. In such cases, the manufacturer's specified minimum footing thickness shall govern.

Notes:

1. post must be centered on footing
2. footings must bear on solid ground



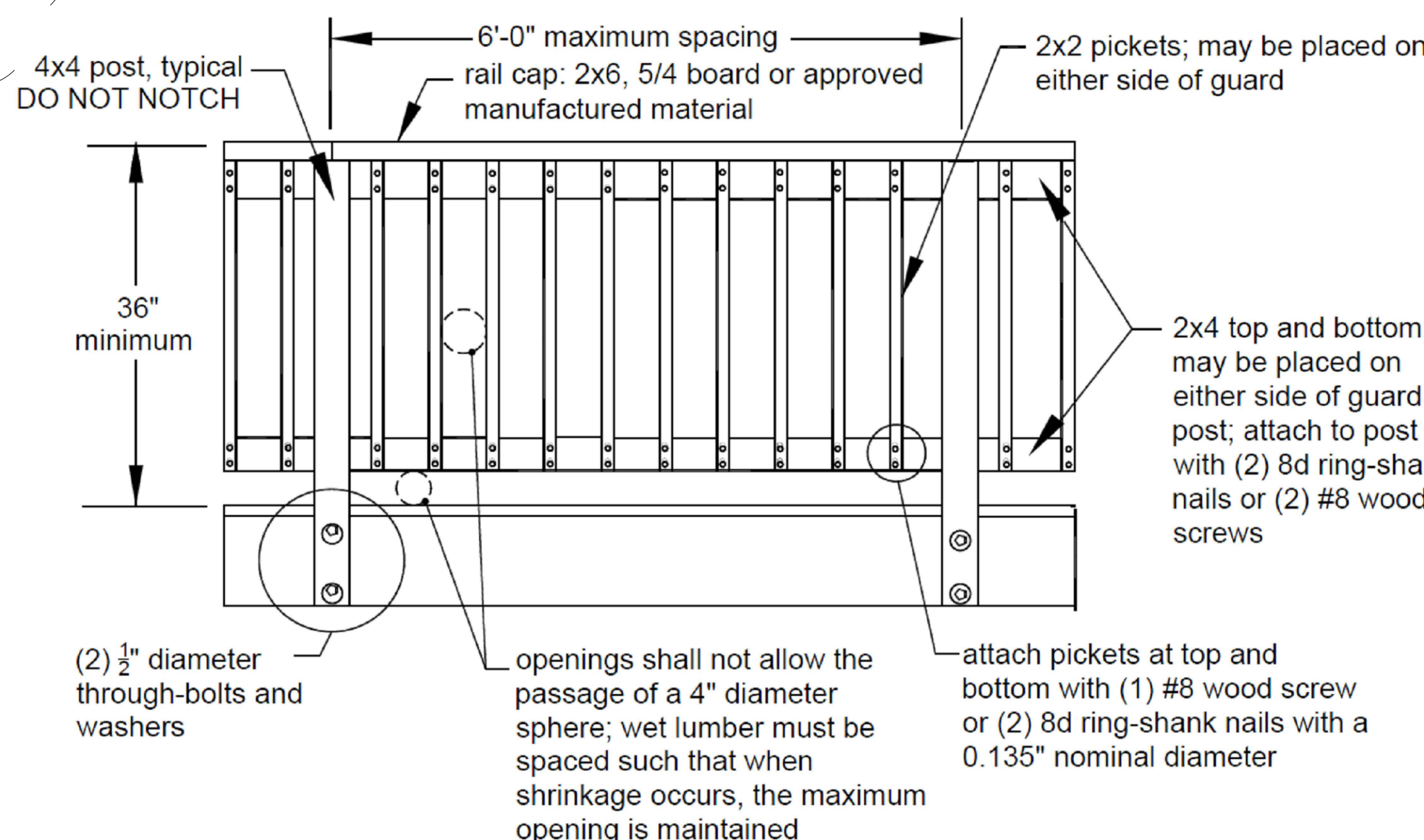
Soil treatment used for subterranean termite prevention shall be applied under all exterior concrete or gradewithin 1 foot of the primary structure sidewalls. (FBC-Residential R506, R402.2, Table R402.2, R318.1.6)

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TYPICAL GUARD DETAIL



1. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND MANUFACTURERS SPECIFICATIONS FOR CORRECT INSTALLATION. ELECT
2. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MATERIALS AND ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION. ALL INSTALLATIONS ARE TO BE CHECKED AS WORKING PRIOR TO OCCUPANCY CERTIFICATION.
3. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND WITH ALL LOCAL ORDINANCES HAVING JURISDICTION, PER 2017 NEC, ETC.
4. VERIFY LOCATION OF ALL OUTLETS, RECEPTACLES, SWITCHES, COAX CABLE, CAT 6 DATA, FIXTURES, ETC. WITH OWNER PRIOR TO ANY INSTALLATION.
5. ALL SECURITY SYSTEMS SHALL HAVE 3 PADS. VERIFY OWNER/CONTRACTOR AGREEMENT AND LOCATIONS OF PADS PRIOR TO ANY INSTALLATION.
6. ALL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
7. ALL MATERIAL SHALL BE NEW AND BEAR THE UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
8. THE ELECTRICAL, TELEPHONE, DATA AND CABLE TELEVISION INSTALLATIONS SHALL MEET ALL REQUIREMENTS BY THE LOCAL UTILITY COMPANY.
9. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE (NEC).
10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
11. BATTERY BACKUP SHALL BE INSTALLED, ALL RECEPTACLES, CABLE, DATA, AND TELEPHONE OUTLETS TO BE 18" AFF.
12. SMOKE DETECTORS ARE INTERCONNECTED AND TO HAVE BATTERY BACKUP. INSTALLED PER NFPA 72, 93.3.4
13. ALL NON-GFI OUTLETS TO BE ON ARC-FAULT INTERRUPTERS
14. GFI OUTLETS LOCATED OUTDOORS ARE TO BE WATERPROOF TAMPER-RESISTANT
15. GFI OUTLETS LOCATED IN GARAGES, KITCHENS, AND BATHROOMS, SHALL BE TAMPER-PROOF.
16. ALL DETECTORS SHALL BE SMOKE/CARBON MONOXIDE COMBO, AND SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP, AND AS REQUIRED PER NFPA 72, 93.3.4 - 9.3.4.2 CASE SHALL MORE THAN 12 INITIATING DEVICES BE INTERCONNECTED OF WHICH 12 CAN BE SMOKE ALARMS WHERE THE INTERCONNECTING MEANS IS NOT SUPERVISED. PER NFPA 72, 93.3.2.2 HOMES WITH A LARGE NUMBER OF BEDROOMS WHERE MORE THAN 12 SMOKE ALARMS OR CARBON MONOXIDE ALARM COMBINATION, WILL REQUIRE A SEPARATE PERMIT FOR A FIRE ALARM SYSTEM.
17. ELECTRICAL METER AN PANEL LOCATION MAY VARY AS PER SERVICE ENTRANCE LOCATION.
18. ALL WIRING TO BE COPPER
19. IF CHOSEN BY OWNER, CONTRACTOR TO VERIFY LOCATION OF E.C.F. 240V ELECTRIC CHARGING STATION WITH OWNER PRIOR TO INSTALLATION. ELECTRICAL CHARGING STATION TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. VERIFY CHARGING STATION SPECIFICATIONS MATCH OWNERS VEHICLES.

INSTALL EMERGENCY LIGHTING TO PROVIDE MINIMUM ONE FOOT CANDLE FLOOR ILLUMINATION. A FIRE INSPECTOR SHALL WITNESS AN OPERATIONAL TEST ON THE EMERGENCY LIGHTING PRIOR TO FINAL BUILDING APPROVAL.

02. FIRE EXTINGUISHERS - SIZE, TYPE, NUMBER, AND LOCATION MUST BE DETERMINED AT TIME OF FINAL INSPECTION.

03. LOCKING DEVICES ON REQUIRED EXIT DOORS SHALL NOT REQUIRE THE USE OF A KEY FOR OPERATION FROM INSIDE THE BUILDING (5-2.15.1 NFPA 101, 9T ED.).

04. POST LEGIBLE SIGN STATING MAXIMUM NUMBER OF OCCUPANTS PERMITTED BASED ON NEW AND EXISTING EXITS.

05. HVAC SYSTEM SHALL COMPLY WITH NFPA 90A (REFERENCE CHAPTER 4, CONTROLS) IN SYSTEMS OF OVER 2000 CFM CAPACITY, SMOKE DETECTORS APPROVED FOR DUCT INSTALLATION SHALL BE INSTALLED AT A SUITABLE LOCATION IN:

1. THE MAIN SUPPLY DUCT ON THE DOWNSTREAM SIDE OF THE FILTERS TO AUTOMATICALLY STOP THE FAN.
2. THE RETURN AIR STREAM, PRIOR TO EXHAUSTING FROM THE BUILDING OR BEING DILUTED BY OUTSIDE AIR, TO AUTOMATICALLY EXHAUST THE SMOKE-LADEN RETURN AIR OR TO STOP THE FAN.

**** EXCEPTIONS:

1. THE SMOKE DETECTOR IN THE RETURN AIR MAY BE OMITTED IN SYSTEMS OF LESS THAN 15,000 CFM CAPACITY.
2. BOTH DETECTORS MAY BE OMITTED PROVIDED THAT THE SYSTEM IS LESS THAN 15,000 CFM CAPACITY, THE ENTIRE SYSTEM IS WITHIN THE SPACE SERVED, AND SUCH SPACE IS PROTECTED BY AN AREA SMOKE DETECTION SYSTEM.

06. WHERE A FIRE ALARM SYSTEM IS REQUIRED ON A BUILDING, THE SMOKE DETECTORS USED TO SHUT DOWN FANS WILL ALSO INITIATE THE FIRE ALARM SYSTEM (4-5.3 NFPA 90A, 9T ED.).

ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEMS CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTIONS 515.21 - 515.31, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.

A SUPERVISED FIRE ALARM SYSTEM IS
REQUIRED TO BE INSTALLED PER NFPA
720.2.2 - A SEPARATE FIRE ALARM PERMIT
IS REQUIRED. THE SYSTEM DESIGN, PERMIT
APPLICATION AND INSTALLATION IS THE
RESPONSIBILITY OF THE FIRE ALARM
SYSTEM COMPANY. ZERO LATITUDE INC.
WILL BEAR NO RESPONSIBILITY FOR ITS
ACCURACY.

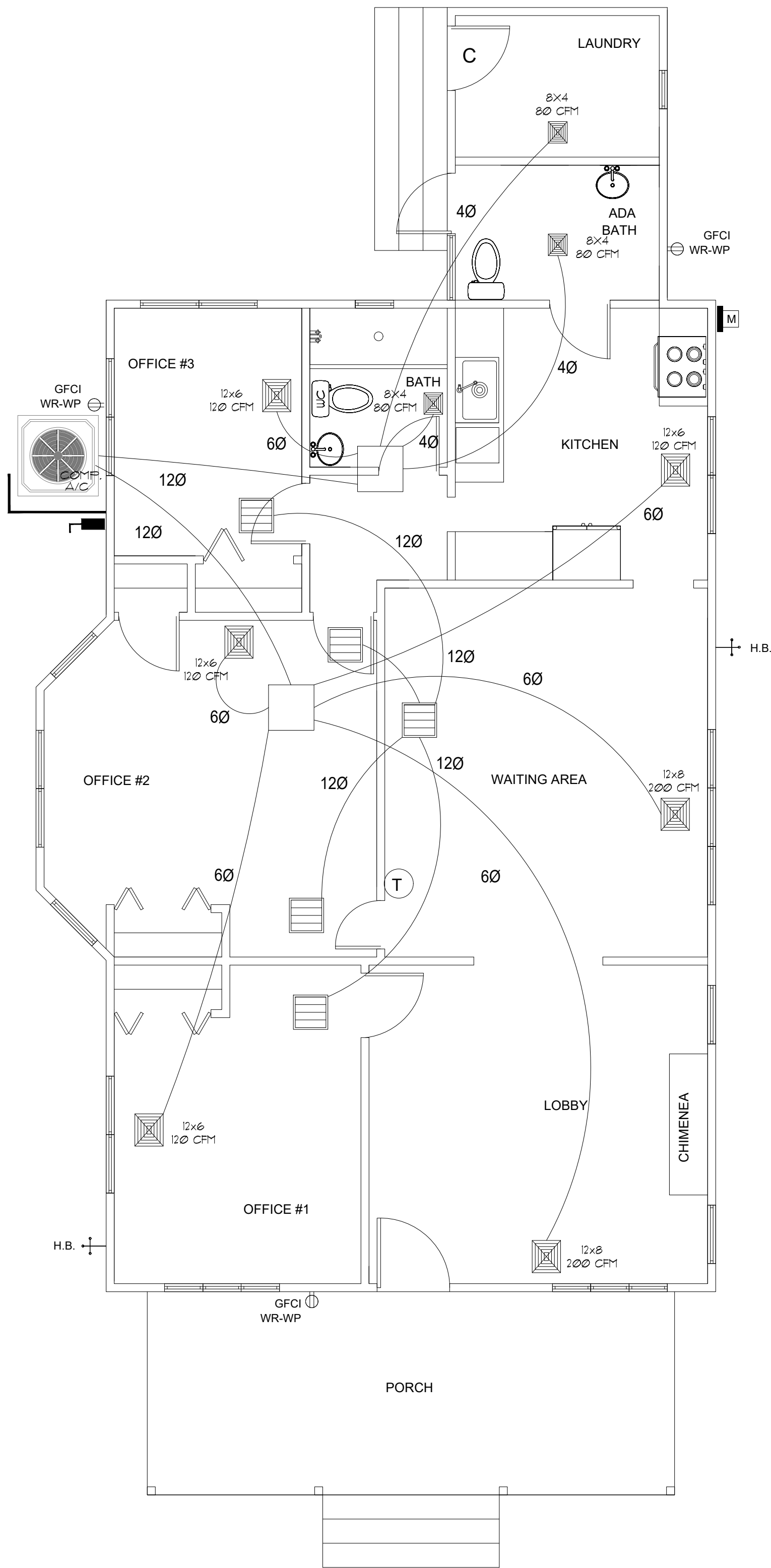


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DRC-021-00055



EXISTING
MECHANICAL PLAN

SCALE 1/4" = 1'

NOTE: ONLY RELOCATE A/C COMPRESSOR

MECHANICAL GENERAL NOTES

- 1.- INTENT OF THESE NOTES AND MECHANICAL NOTES ON DRAWINGS IS TO CLARIFY THE SCOPE OF WORK. CONTRACTOR TO VISIT SITE AND VERIFY ALL CLEARANCES BEFORE FABRICATION OF DUCTWORK AND PROVIDE ADDITIONAL OFFSET AND/OR CHANGES IN DUCT SIZES TO MEET FIELD CONDITIONS AND COORDINATE WITH ELECTRICAL, PLUMBING SUBCONTRACTORS BEFORE ANY CONSTRUCTION WORK.
- 2.- IN GENERAL, PLANS AND DIAGRAMS ARE SCHEMATIC ONLY AND SHOULD NOT BE SCALED. HVAC CONTRACTOR IS RESPONSIBLE FOR ANY ADDED ELECTRICAL COSTS WHICH MAY RESULT FROM SUBSTITUTED EQUIPMENT.
- 3.- COORDINATE AIR DEVICE LOCATIONS WITH LIGHTING FIXTURES.
- 4.- VERIFY VOLTAGE WITH ELECTRICAL BEFORE ORDERING EQUIPMENT.
- 5.- ALL MECHANICAL WORK SHALL MEET ALL THE REQUIREMENTS OF THE LAST EDITION OF "FLORIDA MECHANICAL CODE".
- 6.- DO NOT CUT STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR ARCHITECT. ARRANGE FOR REPAIRS REQUIRED TO RESTORE OTHER WORK, BECAUSE OF DAMAGE CAUSED AS A RESULT OF MECHANICAL INSTALLATIONS.
- 7.- ALL WALL MOUNTED THERMOSTAT SHALL BE INSTALLED AT AN ELEVATION OF 54" ABOVE FINISHED FLOOR TO THE TOP UNLESS OTHERWISE NOTED ON DRAWINGS. LOCATION OF THE WALL MOUNTED THERMOSTAT SHALL BE COORDINATED WITH OTHERS TRADES FOR A NEAT APPEARANCE.
- 8.- VERIFY EXACT LOCATION OF AIR HANDLER UNITS AND CONDENSING UNITS PROVIDE POWER AS REQUIRED TO EACH WITH DISCONNECT AND PROVIDE A 110 V OUTLET GFCI-WP-WR FOR USE DURING MAINTENANCE.
- 9.- VERIFY LOCATION OF WATER HEATER (WH), OR TANKLESS ELECTRICAL WATER HEATER (TWH) PROVIDE POWER WITH DISCONNECT AS REQUIRED PROVIDE A 110 V OUTLET FOR SERVICE WORK IN AREA OF WATER HEATER IF NOT SERVICEABLE BY UNIT OUTLETS.
- 10.- ERRORS OR OMISSIONS: WHEN THE INTENT OF ARCHITECT/ENGINEER WITH REGARD TO ANY DETAIL IS NOT CLEAR, OR IS CAPABLE OF MORE THAN ONE INTERPRETATION, SUCH MATTERS WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING BEFORE THE SUBMISSION OF BIDS, AND THE ARCHITECT/ENGINEER SHALL MAKE CORRECTION OR EXPLANATION IN WRITING. OTHERWISE, NO EXTRA CHARGE WILL BE ALLOWED FOR THE WORK OR MATERIAL WHICH THE ARCHITECT/ENGINEER WILL REQUIRE, PROVIDED THAT IT COMES WITHIN A REASONABLE INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS.
- 11.- NO ADDITIONAL COMPENSATION WILL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS.

EXHAUST DUCTS NOTES

- 1-EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. EXHAUST DUCTS TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IF THE MANUFACTURER'S INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKRAFT DAMPER. SCREEN NOT BE INSTALLED AT THE DUCT TERMINATION.
- 2-EXHAUST DUCTS FOR DOMESTIC CLOTHES DRYERS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 504-8-1 THROUGH 504.8.6

LEGEND

- SUPPLY AIR DIFFUSER WHITE ALUMINIUM UNLESS SPECIFIED OTHERWISE.
- AIR HANDLE UNIT. MANUF. SELECTED BY OWNER. SIZE OF UNIT SPECIFIED ON ENEGY CALCULATIONS. INSTALLED OVER CEILING JOIST IN ATTIC.
- PACKAGE A/C UNIT (NEW LOCATION)
- TRANSITION DUCTBOARD BOX. SIZE AS REQUIRED PER MECHANICAL CONTRACTOR TO ACCOMODATE FLEX DUCT WORK.
- DUCT LINE TO SUPPLY AIR DIFFUSER AND SIZE
- DUCT SIZE IN INCHES
- DIRECTION FROM SUPPLY AIR
- THERMOSTAT LOCATION SHOWN ON LAYOUT
- SIZE OF SUPPLY AND RETURN GRILLES.
- END DUCTBOARD BOX, SIZE AS REQUIRED PER MECHANICAL CONTRACTOR TO ACCOMODATE FLEX DUCT WORK.
- RETURN GRILLE WHITE ALUMINIUM UNLESS SPECIFIED OTHERWISE (12"x12").
- DISCONNECT SWITCH

AIR ACONDITIONING HEATING AND VENTILATION SPECIFICATIONS

TEMPERATURE CONTROLS AND WRING:

- 1) ALL WRING IS INCLUDED UNDER THE ELECTRICAL DIVISION OF THE SPECIFICATIONS. ALL INTEGRAL STARTERS, CONTROLS, RELAYS AND OTHER DEVICES ARE INCLUDED UNDER THE MECHANICAL DIVISION. ALL EQUIPMENT, DEVICES AND WRING SHALL CONFORM TO THE NATIONAL ELECTRIC CODE. ALL CONTROLS SHALL BE FURNISHED AND PROPERLY IDENTIFIES WITH INSTRUCTIONS FOR PROPER CONNECTIONS. RESPONSIBILITY FOR PROPER CONNECTIONS AND OPERATION IS INCLUDED UNDER THE MECHANICAL CONTRACTOR RESPONSIBILITY. VERIFY ALL VOLTAGES, PHASES AND ELECTRICAL CONNECTIONS WITH THE ELECTRICAL CONTRACTOR BEFORE ORDERING ANY EQUIPMENT, AND IF DISCREPANCIES OCCUR, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND GENERAL CONTRACTOR FOR THEIR DECISION.

DUCTWORK:

- 1) ALL OIR CONDITIONING AND HEATING DUCT WORK SHALL BE CONSTRUCTED OF FIBERGLASS DUCT.
- 2) FLEXIBLE DUCT WORK SHALL BE CONSTRUCTED OF U.L. CLASS 1 POLYESTER LINED, METAL HELIX SUPPORTED, INSULATED FIBERGLASS FLEXIBLE DUCT (R-6.0). MAXIMUM DEVELOPED LENGTH INSTALLED ON THIS PROJECT IS LIMITED TO FIFTEEN (15) FEET.
- 3) EACH DUCT SYSTEM SHALL BE COMPLETE WITH ALL REQUIRED DUCTWORK FITTINGS, TURNING VANES, SPUTTER DAMPERS AND SUPPORTS, AND EXTRACTORS AT ALL RIGHT ANGLE TAKEOFFS AND TEES.
- 4) DUCT SIZES SHOWN ON THE DRAWINGS ARE THE INSIDE OF ACOUSTICAL/INSULATION LININGS. INCREASE SIZES OD DUCTS AS REQUIRED TO ALLOW FOR CLEAR INSIDE DISTANCE.
- 5) DUCTWORK SHALL CONFORM TO DIMENSIONS ON THE DRAWINGS, UNLESS LOCATION OF STRUCTURAL MEMBERS PROHIBITED. IN CASE OF CHANGE IN DIMENSIONS, CROSS SECTIONAL AREAS SHALL BE MAINTAINED.

GRILLES, REGISTERS AND DIFFUSERS:

- 1) FURNISH AND INSTALL ALL GRILLES, REGISTERS, CEILING DIFFUSERS AND DOOR GRILLES WHERE INDICATED. THEY SHALL BE OF SIZE AND MODEL CALLED FOR ON THE DRAWINGS.
- 2) ALL GRILLES, REGISTERS AND CEILING DIFFUSERS MUST BE SET FLUSH AND TRUE TO WALL OR CEILING TO PREVENT AIR LEAKAGE AROUND EDGES. ALL UNIT SHALL BE PROVIDED WITH NEOPRENE GASKETING AROUND THE INSIDE OF THE FRAME.
- 3) ALL UNITS SHALL BE FACTORY FINISHED, OF COLOR SELECTED BY THE ARCHITECT, OR AS OTHERWISE INDICATED.

A/C COMPRESSOR INSTALLATION

ANCHORAGE OF APPLIANCES.

APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN AN APPROVED MANNER. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF THE APPLIANCE'S VERTICAL DIMENSIONS. AT THE LOWER POINT, THIS STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4 INCHES (102 MM) ABOVE THE CONTROLS. PER M13072.

GROUND-MOUNTED UNITS

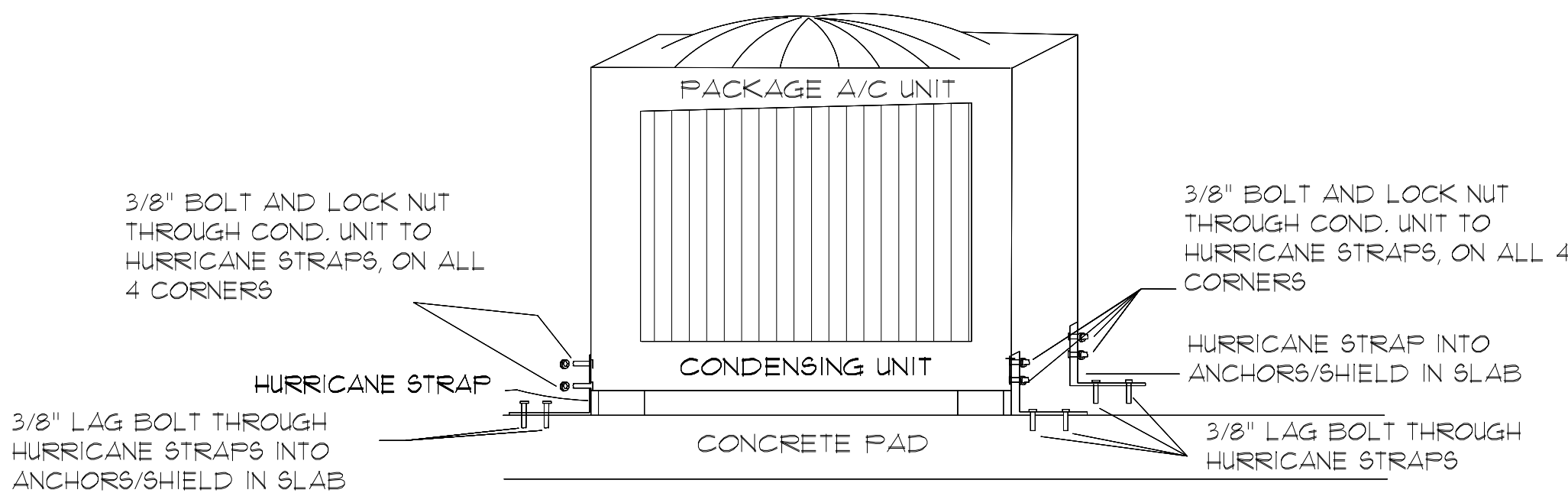
GROUND-MOUNTED UNITS FOR GROUP R3 RESIDENTIAL APPLICATIONS MANY BE ANCHORED WITH #14 SCREWS WITH GASKETED WASHERS ACCORDING TO THE FOLLOWING.

1. FOR UNITS WITH SIDES LESS THAN 12 INCHES (305 MM), ONE SCREW SHALL BE USED AT EACH SIDE OF THE UNIT.
2. FOR UNITS BETWEEN 12 AND 24 INCHES (305 AND 610 MM), TWO SCREWS SHALL BE USED PER SIDE.
3. FOR UNITS BETWEEN 24 AND 36 INCHES (610 AND 9144 MM), THREE SCREWS SHALL BE USED PER SIDE.
4. FOR UNITS GREATER THAN 36 INCHES OR 5 TONS (9144 MM AND 18 KW), ANCHORAGE SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M1307.3.

NOTES:

1. CORROSION PROTECTION. BUILDINGS LOCATED WITHIN 3,00 FEET (914 400 MM) OF THE OCEAN SHOULD UTILIZE NONFERROUS METAL, STAINLESS STEEL OR STEEL WITH MINIMUM G-90 HOT-DIP GALVANIZED COATING EQUIPMENT STANDS AND ANCHORS AND STAINLESS STEEL SCREWS.
2. STRAPPING. JOB-SITE STRENGTHENING OF FAN COWLINGS AND VENT HOODS IS RECOMMENDED. TWO OR FOUR STAINLESS STEEL CABLES ARE RECOMMENDED, DEPENDING ON DESIGN WIND CONDITIONS. ALTERNATIVELY, ADDITIONAL, HEAVY STRAPS CAN BE SCREWED TO THE COWLING AND CURB,

CONDENSING UNIT MOUNTAING DETAIL



DIGITAL STAMP:



Digitally
signed by
Carlos Moreno
Date:
2022.09.15
20:55:14
-04'00'

DRC-21-00055

Interior Alteration
New Office Space
Owner: Fernando Homs P.A.
Location: 721 Mabbette St., Kissimmee, Fl. 34741
Parcel ID#: 2125291690000v0100

Carlos A. Moreno

State of Florida Professional Engineer
Lic. # 76540

1912 Partin Terrace Rd., Kissimmee, Florida 34744

DATE	DESCRIPTION	APP

3VD CONSTRUCTIONS LLC

DRAWINGS PLANS

juan@3vdconstructions.com

407-219-8252

DRAWN: ARKIT	SHEET
CHECK: JV	
DATE: 02-14-2022	
CADD: mabbette	
JOB No. 2022-0010	
	M-1

Community Number: 120190 Panel: 0066
 Suffix "G" Flood Insurance Rate Map
 Dated June 18, 2013 Flood Zone: " X "
 Map ID: 12097C0066

(D) = DEED
(M) = MEASURE
(P) = PLAT
(A) = ASSUMED
(C) = COMPUTED
BLK. = BLOCK
COVD = COVERED
O.H.L. = OVERHEAD LINES
CATV. = CABLE TV RAISER
C.L. = CENTER LINE
DESC. = DESCRIPTION
ELEV. = ELEVATION
ID. = IDENTIFICATION
R.O.W. = RIGHT OF WAY
R/W = RIGHT OF WAY
ESMT. = EASEMENT
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
D.U.E. = DRAINAGE UTILITY EASEMENT
P.D.E. = PRIVATE DRAINAGE EASEMENT
E.P.E. = ELECTRIC POWER EASEMENT
E.S.D.E. = ENVIRONMENTAL SWALE AND DRAINAGE EASEMENT

DRAIN. = DRAINAGE
 UTIL. = UTILITY
 SET I.R.C.= 1/2" I.R.C. LB 7615
 I.P. = IRON PIPE
 I.R. = IRON ROD
 N&D = NAIL AND DISK
 FND = FOUND
 LS = LAND SURVEYOR
 PLS = PROFESSIONAL LAND SURVEYOR
 PSM = PROFESSIONAL LAND SURVEYOR
 AND MAPPER
 RLS = REGISTERED LAND SURVEYOR
 LB = LICENSES BUSINESS
 I.R.C. = IRON ROD AND CAP
 I.P.C. = IRON PIPE AND CAP
 C.M. = CONCRETE MONUMENT
 P.C.P. = PERMANENT CONTROL POINT
 P.R.M. = PERMANENT REFERENCE
 MONUMENT
 P.O.L. = POINT ON LINE
 P.R.C. = POINT OF REVERSE CURVATURE
 P.C.C. = POINT OF COMPOUND CURVATURE
 W.P. = WITNESS POINT
 T.B.M. = TEMPORARY BENCH MARK
 O.R. = OFFICIAL RECORD
 P.O.C. = POINT OF COMMENCEMENT
 P.C. = POINT OF CURVATURE
 P.I. = POINT OF INTERCEPTION
 I.T. = POINT OF TANGENCY
 R.P. = RADIUS POINT
 Δ: = CENTRAL ANGLE
 L: = ARC LENGTH
 CB: = CHORD BEARING
 R: = RADIUS
 F.F.E. = FINISH FLOOR ELEVATION
 A/C = AIR CONDITIONER
 W/H = WATER HEATER
 W/P = WATER PUMP
 CONC. = CONCRETE
 CONC.FC.= CONCRETE FENCE
 WD.FC. = WOOD FENCE
 PVC.FC.= VINYL FENCE
 CL.FC. = CHAIN LINK FENCE
 AL.FC. = ALUMINUM FENCE
 MT.FC. = METAL FENCE
 BFP. = BACK FLOW PREVENTER
 S.M.H. = STORM SEWER MANHOLE
 T.M.H. = TELEPHONE MANHOLE
 FH. = FIRE HYDRANT
 W/M = WATER METER
 W/V = WATER VALVE
 I/V = IRRIGATION VALVE
 C/O = CLEAN OUT
 L.P. = LIGHTING POLE
 PP. = POWER POLE
 WPP. = WOOD POLE



Bearings shown hereon are based on the
SOUTH BOUNDARY LINE OF LOT 3, BLOCK 9,
SUMNER 700 REPLAT, Plat Book 19, Page
89, being N 89°53'57" W.

Certified to/ for the exclusive use of:
Fernando Homs

1. Legal Description provided by others
2. The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the Plat.
3. Underground portions of footings, foundations or other improvements were not located.
4. Wall ties are to the face of the wall and are not to be used to reconstruct boundary lines.
5. Only visible encroachments located.
6. No identification found on property corners unless otherwise shown.
7. Dimensions shown are Plat and Measured unless otherwise shown.
8. Fence ownership not determined.
9. This survey depicted here forms a closed geometric figure.
10. No underground improvements or visible installations have been located other than shown.
11. This survey is prepared for the exclusive use and benefit of the parties listed hereon liability to third parties may not be transferred or assigned.
12. This drawing may not be scaled due to electronic transfer.
13. This survey does not reflect or determine ownership.
14. Fence corners and building corners are witness monuments to obstructed corners, dimensions are as shown.
15. Subject to any dedication, limitations, restrictions, reservations, and/or easement of record no examination of Title made by Surveyor.
16. This Survey is not an ALTA/ACSM Land Title Survey.
17. This Survey was prepared without the benefit of a commitment for Title Insurance.
18. The flood data provided is for informational purposes only. The Surveyor makes no guarantees as to the accuracy of the Information provided. The local F.E.M.A. Agency should be contacted for verification.
19. Boundary bases on existing monumentation and or occupation as found in field, other matters not known to this surveyor at time of survey may affect Boundary lines shown hereon.
20. This Survey is intended for construction, permitting, design, mortgage or refinance purposes only, exclusively for this, used by those to whom it is certified. This Survey is not to be used for any other purpose without the written consent of LEBRON GROUP SURVEYING AND MAPPING CORP. PHOTOCOPYING FORBIDDEN. COPYRIGHTED MATERIAL.
21. Elevation (if) shown hereon are based on the Benchmark C5197, with recorded Elevation 62.094' NAVD88.

Beginning 279.69 feet West of the Southeast corner of Block "V", HENRY A. MATHEW'S ADDITION TO THE TOWN OF KISSIMMEE, according to the plat thereof, as recorded in Plat Book "A", Page(s) 6, of the Public Records of Osceola County, Florida, run East 54.32 feet; North 183 feet; West 55.0 feet; South 183 feet to the Point of Beginning.

THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 5J-17, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.

CODE:721MABETTSTREET20222041
HECTOR LEBRON PSM #6634
Professional Surveyor and Mapper
"NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SEAL OF THIS FLOOR"

DATE: JULY 13, 2022
JOSE R. NEGRON PSM#6850
Professional Surveyor and Mapper
RONIC SIGNATURE AND AUTHENTICATED RAISED/
LICENSED SURVEYOR AND MAPPER."

SE CORNER BLOCK "V"
HENRY A. MATHEW'S ADDITION
TO THE TOWN OF KISSIMMEE

DIGITAL STAMP:



Digitally signed
by Carlos
Moreno
Date:
2022.09.15
20:55:02 -04'00'

DRC-21-00055

Interior Alteration New Office Space

Owner: Fernando Homs PA
Location: 721 Mabbette St., Kissimmee, Fl. 34741
Parcel ID#: 2125291690000v0100

Carlos A. Moreno

State of Florida Professional Engineer
Lic. # 76540

1912 Partin Terrace Rd., Kissimme, Florida 34744

	DATE	DESCRIPTION	APP.
R			
E			
V			
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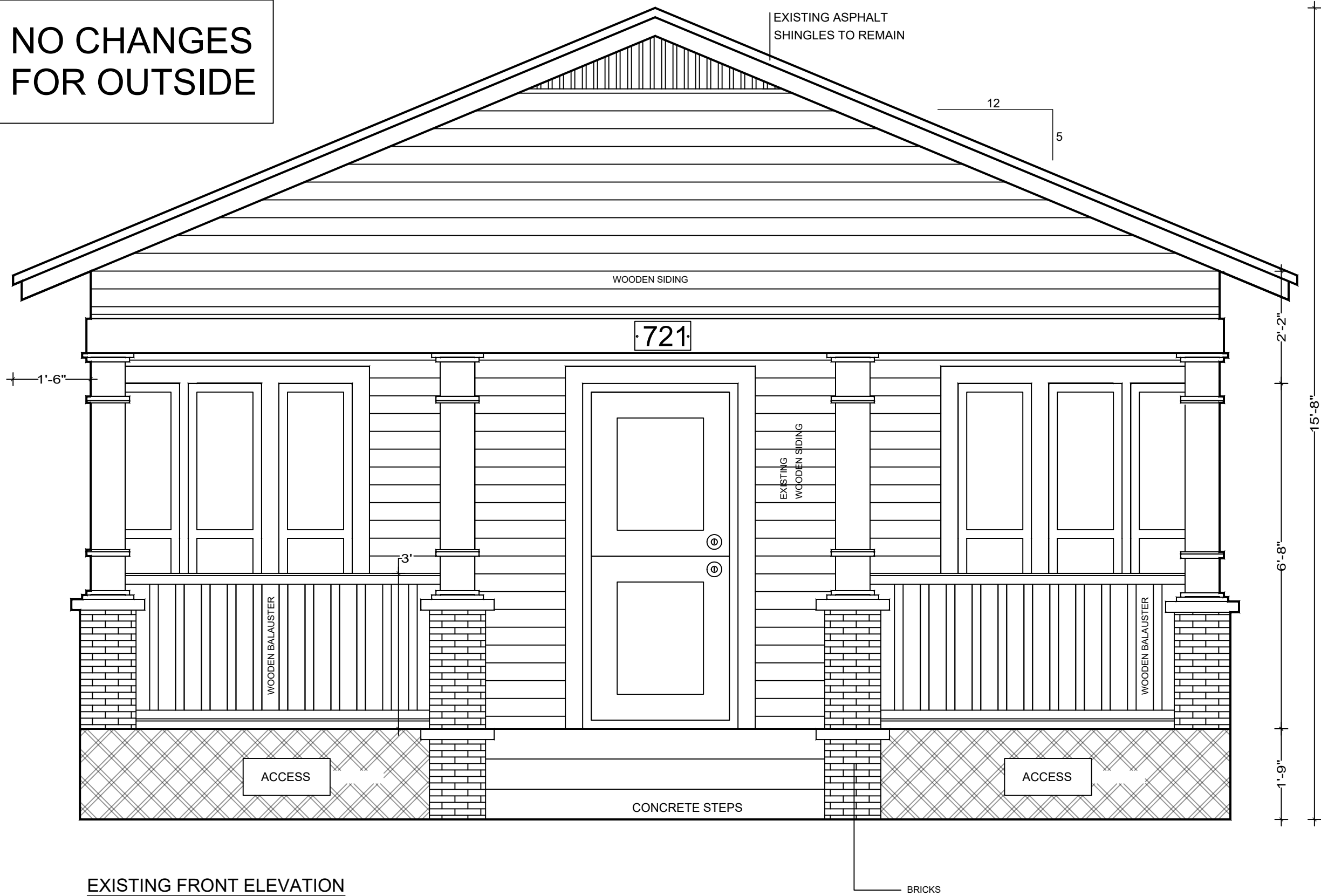
3VD CONSTRUCTIONS LLC
DRAWINGS PLANS
juan@3vdconstructions.com

juan@3vdconstructions.com

407-219-8252

DRAWN: ARKIT	
CHECK: JV	
DATE: 02-14-2022	
CADD: mabbette	
JOB No.	SHEET
2022-0010	A-2a

NO CHANGES
FOR OUTSIDE



EXISTING FRONT ELEVATION
SCALE 1/2" : 1'-00"

Carlos A. Moreno J.
STATE OF FLORIDA PROFESSIONAL ENGINEER
Lic. 76540
1912 Partin Terrace Rd., Kissimmee FL 34744

PLANS DRAWINGS
407.21.8252
3VD_Constructions LLC
General Contractor

DATE	DESCRIPTION

REVISIONS

Interior Alteration
New Office Space
Owner: Fernando Homs PA
Location: Mabbette St., Kissimmee, FL 34741
Parcel ID#: 2125291690000V0100

DATE
02.14.2022

JOB #
2022-0010

SHEET
C01











**CITY OF KISSIMMEE
CERTIFICATE OF APPROPRIATENESS (COA)
INFORMATION PACKET**



Any improvements done within the Historic District must obtain a Certificate of Appropriateness (COA). These are broken down into a Major Certificate of Appropriateness, which is reviewed by the Historic Preservation Board (HPB) at a public hearing, and a Minor Certificate of Appropriateness (COA), which is reviewed by the by the Historic Preservation Planner or Development Services Director.

Major Certificate of Appropriateness

A Major COA Is required for alterations, construction, restorations, relocations, demolition or significant changes to the appearance of a historic structure in a historic district, which has a major impact on the structure and/or district. A COA is not required for any interior work or construction.

Examples of projects that would require a Major Certificate of Appropriateness*:

- | | | |
|---------------|--------------------|-----------------|
| • Additions | • New Construction | • Change in Use |
| • Alterations | • Relocation | |
| • Demolitions | • Restoration | |

Minor Certificate of Appropriateness

A Minor COA is required for exterior construction and/or alternations, which have a minor impact on the structure and/or the district. A COA is not required for any interior work or construction. If the Historic Preservation Planner determines that there would be a major impact or potential detriment as a result of the proposed action, the application shall be submitted for a Major Review.

Examples of projects that would require a Minor Certificate of Appropriateness*:

- | | | |
|------------------------|------------------------|-------------------------|
| • All fences and gates | • Steps | • Signage |
| • Awnings | • Driveways/walkways | • Exterior walls, |
| • Foundation skirting | • Painting and colors | including siding, when |
| • Garage doors | • Roofs, when replaced | using similar materials |
| • Windows, when | with similar materials | • Accessory structures, |
| replaced with similar | • Doors, not including | such as sheds less |
| materials | changing openings | than 100-sqft |

*Please note: Not every item listed above must be reviewed, items vary from district to district. Please check with the Development Services Department to verify if any approval is required. For specific criteria, please review Land Development Code Section 14-3-37.

**CITY OF KISSIMMEE
CERTIFICATE OF APPROPRIATENESS (COA)
APPLICATION**



PROJECT

Project Name: New office space

Property Address: 721 Mabbette Street, Kissimmee, Fl 34741

Parcel ID: 21-25-2-1690-000V-0100

Historic District: _____

Building Permit Number: DRC-21-00055

OWNER

Name: Fernando Homs

Address: 4601 Neptune Road, St. Cloud, Fl 34769

Email: fernando@fernandohoms.com Telephone: 407.873.9370

APPLICANT/AGENT (IF DIFFERENT FROM OWNER)

Name: Juan A Vasquez Mata

Address: 3626 Rosswood Drive, Orlando Fl 32806

Email: juan@3vdconstructions.com Telephone: 407.219.8252

I Certify that to the best of my knowledge and belief, all information supplied with this application is true and accurate, and that I am:

- ☒ The owner of the property described herein
☒ An agent for the owner of the property
☐ Other: _____

[Signature]
Property Owner (Signature)

10-24-2022
Date

Fernando Homs
Property Owner (Print Name)

[Signature]
Agent (Signature)

10.24.2022
Date

Juan A. Vasquez Mata
Agent (Print Name)

PROPOSED WORK: Please indicate the type of work proposed.

Major Certificate of Appropriateness

- | | | |
|-------------------------------------|---|---|
| ☐ Addition | ☐ Relocation | ☐ Other (describe below) |
| ☐ Alteration | ☐ Restoration | |
| ☐ Demolition | ☒ Change of Use | |

Minor Certificate of Appropriateness

- | | | |
|--|---|---|
| ☐ Fences/Gates | ☐ Doors | ☐ Roof (like to like) |
| ☐ Foundation Skirting | ☐ Signage | ☐ Accessory Structure (100-sqft or less) |
| ☐ Awnings | ☐ Driveways/Walkways | ☐ Other (describe below) |
| ☐ Garage Doors | ☐ Exterior Walls/Siding | |
| ☐ Steps | ☐ Windows (like to like) | |

Please be specific and list each proposed exterior alteration (construction, demolition, relocation). Use additional pages if necessary.

There is no changes in the exterior of the structure.

New driveway, parking (6 units) and sidewalk.

New landscaping, and swale.

New vinyl fence, and wooden ramp w/handrails

Relocated the A/C compressor.

Metal shed was demolished.

REQUIRED SUBMITTAL MATERIALS (Must be 11" x 17" or smaller):

- | | |
|---|---|
| ☒ Completed Application | ☒ Survey/Site Plan to scale (if applicable) |
| ☒ Elevations drawn to scale | |
| ☒ Floor Plan to scale (if applicable) | |

A Major Certificate of Appropriateness (COA) application must be completed and submitted with all required back up documentation prior to the third Friday of each month for the next month's Historic Preservation Board (HPB) meeting. Failure to complete the application, comply with instructions, and/or submit necessary documents in a timely manner will delay presentation to the HPB. Meetings are held the second Monday of each month in the City of Kissimmee Commission Chambers at 5:15 p.m.

DO NOT WRITE BELOW THIS LINE (CITY USE ONLY)

Date Application Accepted: _____ Date: _____

Review Result: _____ HPB Date: _____